

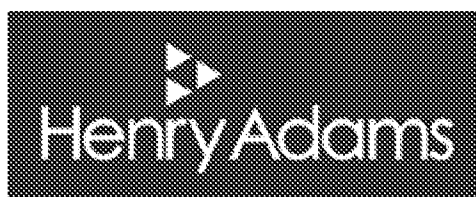
Planning/Design and Access Statement

Conversion of and alterations to existing barns to create 3 no. dwellings, erection of car barn, demolition of existing buildings and associated landscaping and parking. Erection of new garage/workshop for Stakers Farmhouse and upgrading of access track.

Stakers Farm, North End Road, Yapton

Submission on behalf of
Granite Gate Ltd

February 2025



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Town Planning ► Development Consultancy



1. **Introduction**

1.1 Henry Adams LLP has been instructed by Granite Gate Ltd to apply for planning permission for the conversion of and alterations to existing barns to create 3 no. dwellings, erection of car barns, demolition of buildings and associated landscaping and parking. The existing barns are located to the rear of a dwelling known as Stakers Farmhouse which is a Grade II listed building. Those barns that pre-date 1948 are therefore listed by virtue of being within the curtilage of the listed farmhouse. Listed building consent is therefore also sought for this development. The application also seeks planning permission for the erection of a garage/workshop to serve Stakers Farmhouse and the upgrading of an existing track.

1.2 This statement sets out the background to this application along with the planning history and describes the site and its surroundings and the application proposal in detail. It goes on to set out the relevant planning policy framework and then considers the proposal against that framework to demonstrate that it is development plan compliant.

1.3 This planning application is accompanied by the following documents and drawings:

- Application form
- CIL Forms
- Requisite drawings:
 - 1020-01C Proposed floor plans
 - 1020-03E Proposed garage for main house
 - 1020-04C Proposed garaging and bin stores for barns
 - 1020-05A Typical joinery details and floor protection
 - 1020-06H Proposed elevations
 - 1020-07A Existing elevations and barn 3 floor plan
 - 1020-09B Proposed site layout plan
 - 1020-12B Proposed site layout plan showing EV chargers
 - 1020-13 Typical joinery details
 - 1020-14 Proposed floor plans showing ceiling treatments
 - 1020-15A Windows and external doors
 - 1020-16 Proposed roof insulation
 - 1020-17A Site location and block plans
 - Existing floor plans x 3
- Drainage docs:
 - Drainage Statement v 1.1 in 2 parts
 - 201_C Drainage and Levels Layout Plan
 - 501_C Construction Detail Sheet 1
 - 502 Construction Detail Sheet 2
 - Draft Drainage Maintenance and Management Schedule v 1.0

- Ecological Impact Assessment
- Biodiversity Net Gain Statement and Metric

2. **Background**

- 2.1 Planning permission and listed building consent was originally granted for the conversion of the buildings to three no. dwellings on 30th July 2020 (Y/105/19PL and Y/106/19/L). In 2021 a revised proposal was submitted to the local planning authority that sought amendments to the appearance and layout of the approved dwellings. The revisions to the planning application were made under section 73 of the Town and Country Planning Act (Y/107/21/PL) whilst the revisions to the listed building consent comprised a new application (Y/108/21L). Both applications were approved however whilst the listed building consent gave another three years for implementation (as it was a fresh application), the planning permission under Section 73 could not extend the time period for commencement and therefore had to be implemented in accordance with the 2020 permission i.e. by 30th July 2023. The applications took over a year to determine (August 2022) which significantly impacted on the time available to discharge the pre-commencement conditions and implement the planning permission before the 2020 planning permission expired in July 2023.
- 2.2 Due to the length of time that the 2021 applications were taking for determination, discharge of condition applications were submitted for the original 2020 permissions so that these could potentially be implemented as a fall-back position. The DOC applications were as follows:

| Application no. | Conditions for Discharge | Decision |
|------------------------|--|--|
| Y/159/21/DOC | Approval of details reserved by condition imposed under Y/105/19/PL relating to condition 10 - at least 10% of energy supply shall be secured from decentralised and renewable or low carbon energy sources | Approved |
| Y/52/22/DOC | Approval of details reserved by condition imposed under Y/105/19/PL relating to conditions 3-flint flooring and stall dividers, timber ceiling details, 4-flint flooring details, 5-surface water drainage and 9-electric vehicle charging | Part approved – drainage details refused |

- 2.3 The 2021 S73 application and listed building consent applications were eventually approved in August 2022 and a discharge of condition application was submitted to address the pre-commencement conditions as follows:

| Application no. | Conditions for Discharge | Decision |
|-----------------|--|--|
| Y/141/22/DOC | Approval of details reserved by condition imposed under ref Y/107/21/PL relating to Condition nos: 3 - flint flooring, stall dividers, exposed brick walls, timber ceiling and first floor of Barn 1 4 - details of repurposing flint flooring and materials 5 - surface water drainage 6 - details of new external doors and windows 7 - details of exposed beams and joists 8 - location of gas/electricity metres, 9 - boundary treatments 10 - samples of materials for paving 14 - electric vehicle charging | Part approved – drainage details refused |

2.4 As the drainage details were refused on both the 2020 and 2022 permissions, a revised discharge of condition application was submitted for each of the planning permissions in June 2023 under references Y/56/23/DOC and Y/57/23/DOC. These were refused in July 2023 and May 2024 respectively. The planning permissions to which they related both expired in July 2023 and therefore the permissions could not be implemented in time and are no longer extant. The Listed Building Consent application Y/108/21/L does however remain extant until 12/08/2025.

2.5 Planning permission and listed building consent were granted under a household application in 2021 for the upgrading of existing access with new turning area and addition of a garage to serve Stakers Farmhouse (Y/109/21/HH and Y/110/21/L). This development was not implemented as a drainage pre-commencement condition was imposed which was unlikely to be discharged given the decisions on the barns DOC applications. The garage is now included with this application for planning permission.

3. **Description of Site**

3.1 The application site is located on the west side of North End Road approximately 180 metres north of its junction with Main Road (B2233). It comprises a number of traditional barns located to the rear (west) of Stakers Farmhouse, a rendered two storey property with dormers in the roof slope which is listed Grade II. The barns are in use for purposes ancillary to the main farmhouse.

3.2 The barns date from mid-19th Century and have an historic association with the listed farmhouse. As a result they are considered to be curtilage listed. The main group forms

a 'U' shape around a courtyard and comprises a mix of single and two storey elements. The barns are described in detail in the accompanying Heritage Statement but are generally constructed in traditional materials such as flint, red brick, weatherboarding and plain clay tiles (one barn is concrete tiles).

- 3.3 To the west and south of the 'U' shape barns are two standalone barns, the barn on the southern boundary being mid-20th Century and therefore not curtilage listed. The building on the western boundary is mid-19th Century timber framed with weatherboard, flint and brick face.
- 3.4 The access to the site is from North End Road along the southern boundary of the curtilage to Stakers Farmhouse. The accessway is bound by flint walls which continue along the road frontage to the north and south of the access.
- 3.5 The site is located within the Yapton-Church Road Conservation Area and there are several other listed buildings in the locality which are identified in the accompanying Heritage Statement. In policy terms, the site lies within the built-up area boundary of Yapton. To the west of the site lies two development sites which have been recently completed for 9 no. dwellings and 70 no. dwellings respectively.

4. Current Application

- 4.1 The application proposal is identical to the scheme approved under the 2022 permissions Y/107/21/PL and Y/108/21/L. It proposes the conversion of the existing barns on site to 3 no. new dwellings: 2 no. dwellings in the 'U' shaped range and 1 no. dwelling in the building on the southern boundary.

Barn 1

- 4.2 Barn 1 comprises the northern half of the 'U' shaped buildings and will form a four bedroom dwelling of approximately 209sqm. Part of this section of the barns is double height where a staircase will be provided to accommodate 2 no. bedrooms at first floor level.

Barn 2

- 4.3 Barn 2 comprises the southern half of the 'U' shaped range and will form a four bedroomed unit of 242sqm. The main double height barn on the southern side will provide the main living accommodation with 3 no. smaller rooms within the catslide outshot on its southern side. The master bedroom accommodation will be on a galleried first floor within the main barn and the remainder of the bedroom accommodation in the single storey range on its northern side.

Barn 3

- 4.4 Barn 3 is the separate single storey building to the south of the south. It will be converted into a three bedroomed dwelling of approximately 109sqm.
- 4.5 The conversion of the buildings has been designed to make use of existing openings as far as possible although some new opening and rooflights are proposed to facilitate the residential use. The roofs are largely clad with clay roof tiles and slate to shallow sections and Barn 3. The elevations will comprise a mixture of flint, brick and timber featheredge boarding that is incorporated to blend in with the existing materials where new areas of infill are required.
- 4.6 Particular elements of historic significance will be protected/relocated and these matters were controlled by planning conditions on the original planning approvals. The details were subsequently submitted for approval and agreed and will be set out in detail later in the report.
- 4.7 The application also proposes the following development that was also previously approved by the 2022 applications:
- Demolition of mid-19th century building on the western boundary
 - New car barn in place of demolished building to provide 3 no. parking spaces (one for each dwelling)
 - New garage/workshop for Stakers Farmhouse
- 4.8 The new timber framed car barn/bike store is proposed adjacent to the western boundary between barns 2 and 3. It will be open fronted and clad in timber feather edged boarding with a clay tiled roof. The historic stalls removed from barn 1 will be utilised within the building. It will provide a covered parking space for each of the three dwellings. The remainder of the parking is proposed to be informally arranged in the two courtyards (notional spaces are shown on the drawings). Three no. enclosed bin stores are also proposed for each of the dwellings.
- 4.9 A new garage is proposed to serve Stakers Farmhouse which will be located adjacent to the northern boundary. This will comprise a three bay timber framed building, two of which will be enclosed and one open fronted. A small log store will be attached to the western end and at the eastern end, an external staircase will provide access to a workshop area at first floor level. The building will be timber clad with feather edge boarding.
- 4.10 Access to the garage will be via a track to the west side of the 'U' shaped barns which will be provided by cobble wheel tracks with central grass strip.

- 4.11 The boundary treatments are detailed on the submitted plans and include a mix of 1.8m Hazel fencing and cleft post and rail fencing. Hard surfacing is also detailed with Staffordshire blue stable block pavers for pedestrian access around the site and gravel to the parking courtyards.

5. Planning Policy Context

- 5.1 The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these should be applied. It states that the purpose of the planning system is to contribute to the achievement of sustainable development which comprises three overarching objectives; economic, social and environmental. It states that the three objectives are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives).
- 5.2 Paragraph 11 sets out the presumption in favour of sustainable development which for decision taking means approving developments that accord with an up-to-date development plan without delay.
- 5.3 Paragraph 73 states that small and medium sized sites can make an important contribution to meeting the housing requirement of an area, are essential for Small and Medium Enterprise housebuilders to deliver new homes, and are often built-out relatively quickly. To promote the development of a good mix of sites local planning authorities should, amongst other matters, support the development of windfall sites through their policies and decisions – giving great weight to the benefits of using suitable sites within existing settlements for homes.
- 5.4 Paragraph 115 seeks to ensure all development prioritises sustainable travel modes and provides safe and suitable access for all users. Paragraph 116 states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network, following mitigation, would be severe, taking into account all reasonable future scenarios.
- 5.5 Section 12 of the NPPF deals with design and paragraph 131 states “Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.” Section 12 also states that decisions should seek to ensure, amongst other matters, that developments are visually attractive and sympathetic to local character.

5.6 The site buildings are within the curtilage of a listed building and therefore Section 16 of the NPPF: Conserving and Enhancing the Historic Environment is relevant. Paragraph 210 states:

'In determining applications, local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- c) the desirability of new development making a positive contribution to local character and distinctiveness.*

5.7 Paragraph 215 states *'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.'*

5.8 In this case, the Development Plan comprises the Arun District Local Plan and the Yapton Neighbourhood Plan 2021. The most relevant policies of the Local Plan are as follows:

- D DM1 Aspects of form and design quality
- ENV DM5 Development and biodiversity
- HER DM3 Conservation Areas
- SD SP1 Sustainable Development
- SD SP2 Built-up Area Boundary
- QE SP1 Quality of the Environment
- D SP1 Design
- D DM2 Internal space standards
- DM4 Extensions and alterations to existing buildings
- CC DM1 Renewable Energy
- ECC SP1 Adapting to Climate Change
- W DM1 Water supply and quality
- W DM3 Sustainable Urban Drainage Systems
- WM DM1 Waste Management
- T SP1 Transport and Development
- HER DM1 Listed Buildings
- HER SP1 The Historic Environment

5.9 The most relevant policies of the Neighbourhood Plan are:

- BB1 Built up area boundary
- E8 Conservation Areas and Areas of Character
- E9 Buildings or Structures of Character

- H1 Housing requirement
- PK1 Parking standards for new residential development

5.10 Also of relevance are the following documents:

- Planning Practice Guidance
- Arun Parking Standards 2020

6. Planning Considerations

Principle

- 6.1 The site is located within the built-up area boundary of Yapton where development is acceptable in principle in accordance with Policy SD SP2 of the Local Plan and BB1 of the Neighbourhood Plan subject to consideration of other policies of the Plan.
- 6.2 In this village location the site is sustainably sited as services and facilities are accessible by walking, cycling and by bus. In accordance with Policy SD SP1 of the Local Plan and paragraph 11 of the NPPF, a positive approach should be taken and the presumption in favour of sustainable development applied. The presumption should only be disengaged if there are strong reasons for doing so, such as where assets of importance are affected.
- 6.3 In this case, it has already been determined by the LPA on previous applications that the principle is acceptable, there are no strong reasons for refusing development and there are no adverse impacts that would significantly and demonstrably outweigh the harm. There have been no material changes in circumstances since the last application was approved and therefore it is concluded that the principle remains acceptable in this case.

Design and Character

- 6.4 In granting the original planning permission for the conversion of these buildings, the Council recognised that they are no longer suited to their original purpose as agricultural buildings and have more recently been used as ancillary residential buildings. The conversion to independent residential dwellings was agreed to be acceptable as the Aun Design Guide recognises that sensitive conversion can be a successful way of securing their future. The guide goes on to state that conversions must protect the original character and appearance of buildings through careful use of considerate materials, preservation of distinctive features and minimal internal and external alterations.
- 6.5 In considering the 2019 proposal the planning officer acknowledged that the proposed changes to the buildings were subtle and preserved to the special architectural characteristics and qualities of the buildings. The 2021 minor material amendment to

that scheme proposed minor changes to the approved internal layout, fenestration and general layout of the site and again it was acknowledged that overall, the proposal complied with policy D DM1, D SP1 and the Arun Design Guide.

- 6.6 This submission does not propose any alterations to the design approved under the 2021 minor material amendment application. It has always been the position of the conservation officer that the success of the scheme will depend on minor design details and materials and as such conditions were imposed requiring the submission and approval of many of the detailed design elements. These were all subsequently approved under discharge of condition applications and are included with this application. The approved details pursuant to the conditions are as follows:

Condition 3 – design details

The submitted plan 'Proposed Bin Stores and Garaging/Bike Stores for Barns – 1020-04 Rev. C' details how 2no. stall dividers salvaged from Barn 1 will be used to provide partitions within the garage space.

The Heritage Statement confirms in paragraph 4.25 that the flint floor will be retained in situ, with a new insulated suspended timber floor installed above it. This will ensure that the historic floor remains untouched and can be revealed at a future date. It therefore concludes that there will be no adverse harm to the historic floor. Submitted plan 1020-05A Typical Joinery details and floor protection (A3) provides a section that demonstrates how the floor tiles will be protected.

In terms of the second bullet point in the condition, all described details will remain in situ.

Condition 4 – design details

- a) Flint floor – as above
- b) Both submitted plan 1020-06H Proposed Elevations and the Heritage Statement provides details of materials.
- c) Submitted plan 1020-06H Proposed Elevations provides details of materials.
- d) The bricks are remaining in situ.
- e) Submitted plan 1020-05A Typical Joinery details and floor protection demonstrates the proposed joinery.
- f) Submitted plan 1020-05A Typical Joinery details and floor protection details of the position of the windows and doors in their openings.

Condition 6 – door and window detail

The plans reference 'Proposed Typical Joinery Details of new Windows and External Doors – 102/13' and 'Windows and External Doors – 1020/15A' detail the doors and windows intended for use at the site.

Condition 7 – ceiling details

The plan reference 'Proposed Floor Plans showing ceiling treatments – 1020/014' details how the beams and joists will be treated and whether they will be exposed or not when the development is completed.

Condition 8 – gas/electricity meters

The details on the location of the meters for the properties are shown on 'Proposed Floor Plans – 1020/01C' and 'Proposed Elevations – 1020/06H'.

Condition 9 – boundary treatments

The details of the boundary treatment are included on 'Proposed Site Layout – 1020/02H'. This includes boundary treatment to communal areas, and private amenity area fencing.

Condition 10 – hard surfacing

Photos and details of the proposed surfacing is shown on the plan reference 'Proposed Site Layout – 1020/02H'

Condition 14 – EV charging

The location of the proposed EV charging units are shown on 'Proposed Site Layout Plan showing electric vehicle charging points – 1020/12B'. This shows the provision of two EV charging points per proposed dwelling.

6.7 It is therefore submitted that these details can be approved under this application avoiding the need for the re-imposition of the conditions.

6.8 This application also includes the following drainage documents which if approved, will avoid the need for a condition requiring further details to be submitted prior to commencement:

- Drainage Statement v 1.1 in 2 parts
- 201_C Drainage and Levels Layout Plan
- 501_C Construction Detail Sheet 1

- 502 Construction Detail Sheet 2
- Draft Drainage Maintenance and Management Schedule v 1.0

Heritage considerations

- 6.9 The barns are situated within the Yapton Conservation Area and are located within the curtilage of a Grade II listed building and are therefore considered to be curtilage listed. The policies of the Local Plan and the guidance in the NPPF seek to ensure that such heritage assets are given the highest level of protection and should be conserved and enhanced in a manner appropriate to their significance.
- 6.10 It was acknowledged in previous planning applications that the buildings have deteriorated in condition principally due to being underutilised. The change of use to residential dwellings will enable the conservation of the buildings and the manner of the conversion retains the historic and architectural features present. The layout of the site avoids the creation of suburban style curtilage and subdivision of courtyards and as such will not detract from the rural appearance and character of the buildings. It was concluded that the proposal will result in less than substantial harm to the heritage assets which is outweighed by securing the optimum viable use of the buildings in support of their long-term conservation.
- 6.11 With no material change in policy since the original applications were approved it is therefore concluded that the proposal continues to comply with the policies of the Local Plan, Neighbourhood Plan and NPPF that seek to protect heritage assets.

Impact on Amenities of Existing and Future Occupiers

- 6.12 There are no changes proposed to the fenestration that has previously been approved. It has previously been recognised that there is more than sufficient distance to Stakers Farmhouse and the dwellings to the north to ensure that amenities of neighbouring occupiers are protected in accordance with Policies D DM1 and QE SP1 of the Arun Local Plan.
- 6.13 The dwellings comply with the Nationally Described Space Standards in respect of internal floorspace as follows:
- Barn 1 – 4 bedroom dwelling - 208.9sqm (NDSS 4b 8p = 124sqm)
- Barn 2 – 4 bedroom dwelling – 242sqm (NDSS 4b 6p =106sqm)
- Barn 3 – 3 bedroom dwelling – 109.4sqm (NDSS 3b 6p = 95sqm)

- 6.14 Each dwelling has a private amenity space although it is acknowledged that the garden to Barn 3 is deficient. However, as before, this minor design issue is outweighed by the benefits of re-using existing buildings in a sustainable location where alternative areas of open space are available and the public heritage benefits weigh heavily in favour.

Biodiversity

- 6.15 An updated preliminary ecological appraisal of the site was undertaken in June 2024 following which bat emergence / re-entry surveys were undertaken between June and July 2024. The site was found to support day roosts of individual common pipistrelle and brown long eared bats. A licence will therefore be required from Natural England once planning permission has been granted. Avoidance and mitigation measures are recommended in the report to ensure that the development does not contravene any UK or European legislation.
- 6.16 Since the last planning application was approved biodiversity net gain has become a requirement for all new development. A biodiversity net gain statement accompanies the application this identifies on site habitats provide a baseline value of 0.18 habitat units of modified grassland and ruderal/ephemeral. The proposed habitat creation includes neutral grassland, small trees and introduced shrub which will exceeds 10% biodiversity net gain with all trading rules satisfied. As a result, the development meets the requirements of local plan policy for the protection and enhancement of ecology and biodiversity.

Access and Parking

- 6.17 Access to the dwellings will be as previously approved to which WSCC raised no objection.
- 6.18 The proposed site plan shows nominal parking spaces as it is intended to keep parking informal with the courtyards to maintain the setting of the buildings. It does however show there is sufficient parking space within those areas and the proposed car barn for the three dwellings and for visitors.
- 6.19 The proposed new garage to serve Stakers Farmhouse will provide parking/workshop/storage space and has previously been approved in 2021 under application Y/109/21.
- 6.20 The proposed EV charging points has previously been agreed under a discharge of condition application and the details are re-submitted with this application. Cycle storage is available within the car barn.

- 6.21 A refuse and recycling store is proposed for each dwelling, the details of which are included with the application.

Other matters

Drainage

- 6.22 The application is accompanied by a drainage statement which demonstrates how the surface water will be managed. The non-technical summary states:

The proposed development will incorporate a sustainable drainage system which will discharge surface water at a suitably restricted rate to the public sewer beneath North End Road using the existing on-site surface water connection and provide betterment when compared to the existing / do-nothing scenario.

The surface water drainage system will provide storage for all storm return periods up to and including the 1:100 year rainfall event with an allowance for climate change.

Southern Water have confirmed acceptance of a restricted discharge of surface water to the public foul sewer beneath North End Road using the existing private surface water connection.

Foul water will be discharged by gravity to the public foul sewer located beneath North End Road using the existing connection.

- 6.23 The previous applications expired due to the refusal of applications to discharge the drainage conditions. The refusal was principally on the basis that the Council's engineers oppose a surface water connection to the foul sewer. The submitted report sets out the justification for this connection, the fact that it will be a betterment over the existing situation and acceptance of the discharge by Southern Water. It is therefore submitted that the site can be sustainably drained and accords with Policy W DM3 of the Local Plan and the advice in the NPPF.

7. Conclusion

- 7.1 The application proposes the conversion of the existing buildings on this site to 3 no. residential dwellings with associated development along with the erection of a garage/workshop building for Stakers Farmhouse. All the development proposed has previously been granted planning permission/listed building consent and all pre-commencement conditions discharged other than drainage.

- 7.2 There have been no material changes in circumstances on the site or to the Development Plan. An updated NPPF has been published since the last applications but has not made any material change to the advice relating to the principal matters.
- 7.3 It is therefore concluded that the principle of development remains acceptable as the site is located in a sustainable location within the built-up area boundary. The design and layout of development has not changed and as such the proposal continues to be acceptable in terms of its impact on the historic environment and the amenities of adjoining and future residents.
- 7.4 The submitted reports demonstrate that ecological and biodiversity impacts can be mitigated, and enhancements are included. The drainage statement illustrates that surface water can be sustainably managed and the proposed access and parking arrangements remain as previously approved.
- 7.5 It is therefore concluded that when considered as a whole, the proposal accords with the NPPF and the Development Plan and in accordance with the advice in paragraph 11 of the NPPF, the presumption in favour of sustainable development should apply as there are no strong reasons for refusing it and no adverse impacts have been identified that would significantly and demonstrably outweigh the benefits.
- 7.6 It is therefore requested that planning permission and listed building consent is granted for the development as proposed.