



## DESIGN AND ACCESS STATEMENT

Proposed 4 Detached Homes behind Strawberry Field, Courtwick Lane  
Court Wick Park House Courtwick Lane Wick Littlehampton BN17 7PD



## OUR REFERENCE

H.21.95

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## SITE ADDRESS

Court Wick Park House Courtwick Lane Wick Littlehampton

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## PROPOSAL

Proposed 4 Detached Homes behind Strawberry Field

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## DATE OF REPORT

25/07/2023

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### Document History and Status:

Revision	Date	Description	Created By	Reviewed By
~	25/07/2023	Original Document	PJ	JB
A	15/08/2023	Updated LA/Key Legend	PJ	JB
B	02/09/2025	Site Plan Updated	LW	JB
C	12/09/2025	Plans updated	LW	JB

# 1.0

# INTRODUCTION

# 1.1 THE BRIEF

This Design and Access Statement has been prepared by ADG Architects on behalf of Paul Jeffery to support the proposed application for 4 No. residential properties with associated access, parking and landscaping.

The proposal has been informed and defined by the surrounding context and local planning policies. Details for the proposal have taken great consideration for:

- Location of the site
- Height, scale and massing
- Vehicle and pedestrian access
- Parking
- Relationship to the surrounding land and existing building uses
- National and local space standards
- Shared and private amenity space
- Architectural precedents in the local area

This Design and Access Statement should be read in conjunction with the application form and drawings package.

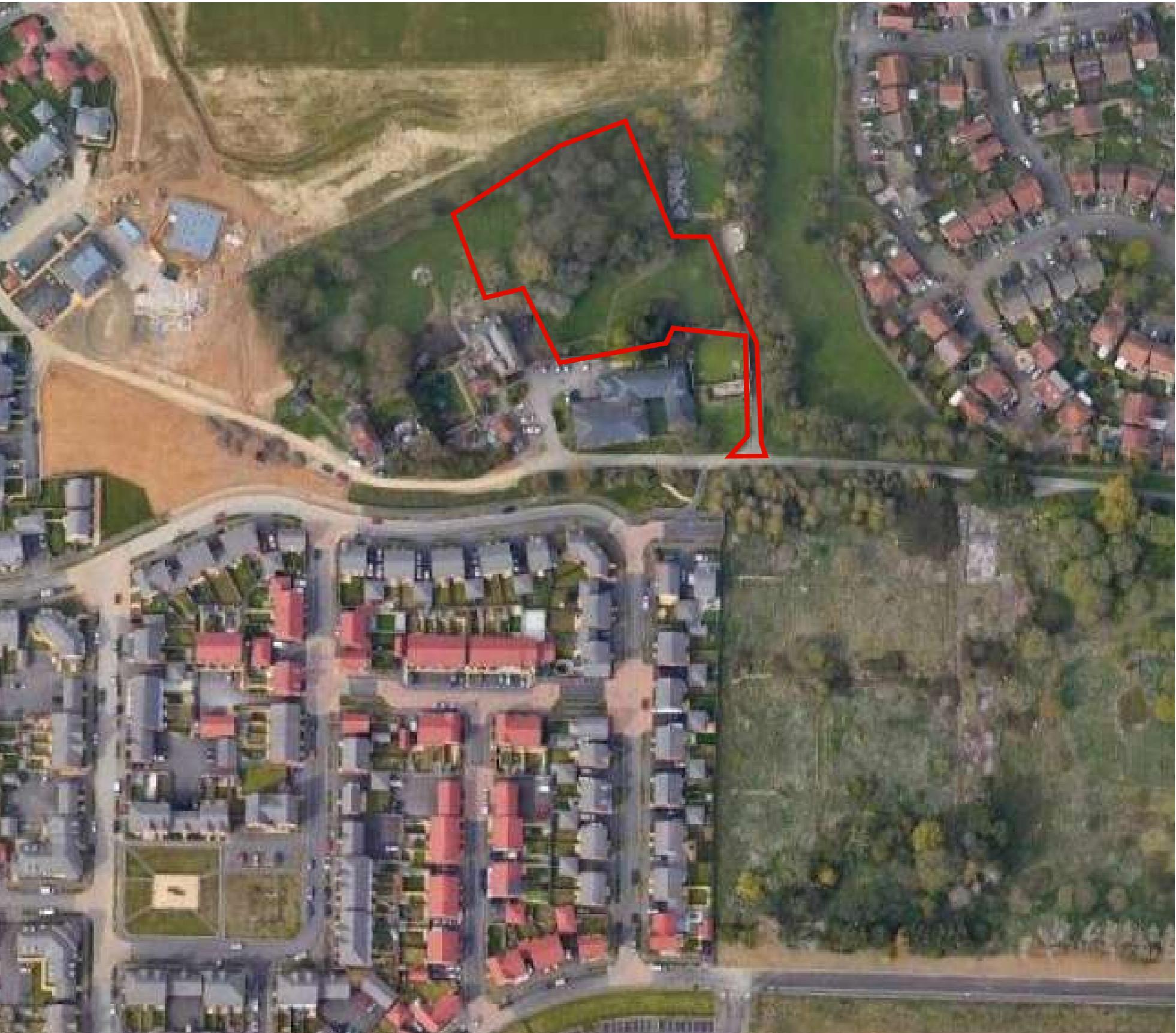
This Document has been prepared by ADG Architects to support the planning pre-application for the residential development off Courtwick Lane. This is a follow on pre application after receiving a previous Pre Application Response dated 17/03/2021 and the 13th December 2022

The purpose of this document is to illustrate how the scheme has evolved further from the previous submission as a result of further market demand and additional review relating to access and drainage. The careful site analysis, and research into the history and local context surrounding the site has further been developed.

ADG Architects have been commissioned by to design several high quality homes behind

To summarise, this proposal will construct large family homes to the North East corner of the grounds of Courtwick Park mid-18th / 19th century farmhouse,

The intention for this site is to understand the viability of development and the comments gained from a planning pre-application to refine the designs and proposal which would then be submitted for full planning permission.



# 2.0

# CONTEXT

## 2.1 SITE LOCATION

The proposal site is a 0.48 Hectares situated behind Strawberry Fields, Assisted Living Facility in Wick and is access Courtwick lane

The site is located in Wick in the north-west outskirts of Littlehampton, West Sussex. The Site is approximately 3.1 km south of Arundel with the village of Lyminster situated approximately 1.1 km north-east of the Site. The Site comprises an irregular plot of land bounded by Courtwick Lane to the south. A railway line passes approximately 160 m minimum from the north boundary of the Site. North and it still retains a porch and entrance doors on this side. Adjacent to the site is Courtwick Park, a Listed 18th & 19th Century building, which forms an L-shape in general plan, is located towards the south end of the Site but set back from Courtwick Lane

There is also an outbuilding known as the Old Bakehouse is located close to the south-west of historic interest.

Site Address:  
Courtwick Lane  
Court Wick Park House Courtwick Lane Wick Littlehampton BN17 7PD

**Local Planning Authority:**  
Arun Borough Council

### Key:

- Site Boundary
- Courtwick Lane
- Earnest



## 2.2 SITE & SURROUNDINGS

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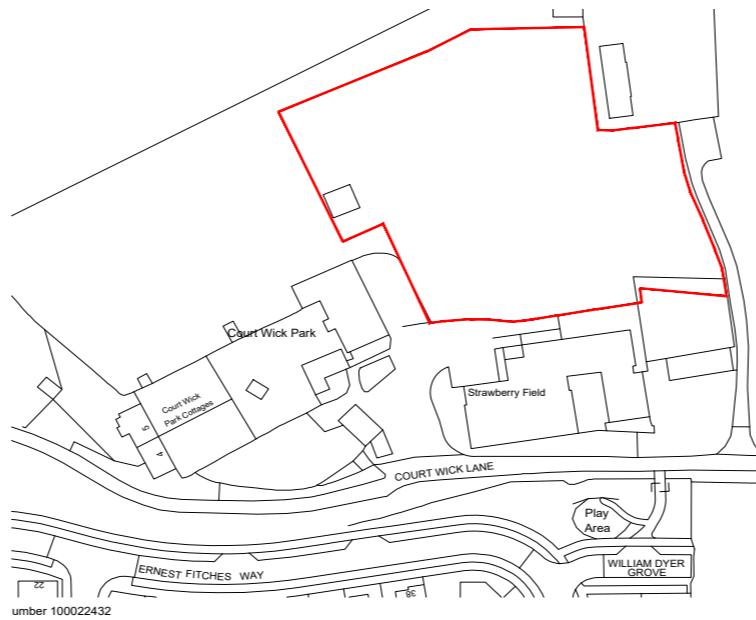
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The buildings surrounding the site will impact the proposed building's form, scale and massing, to better understand the boundaries of the site photographs have been collected.

The existing boundary treatments and neighbouring site uses can be clearly seen on these images.



View - North West From Courtwick Lane



View of Courtwick Park - East Elevation / Car Park



View - South of the Site Entrance - New Estate

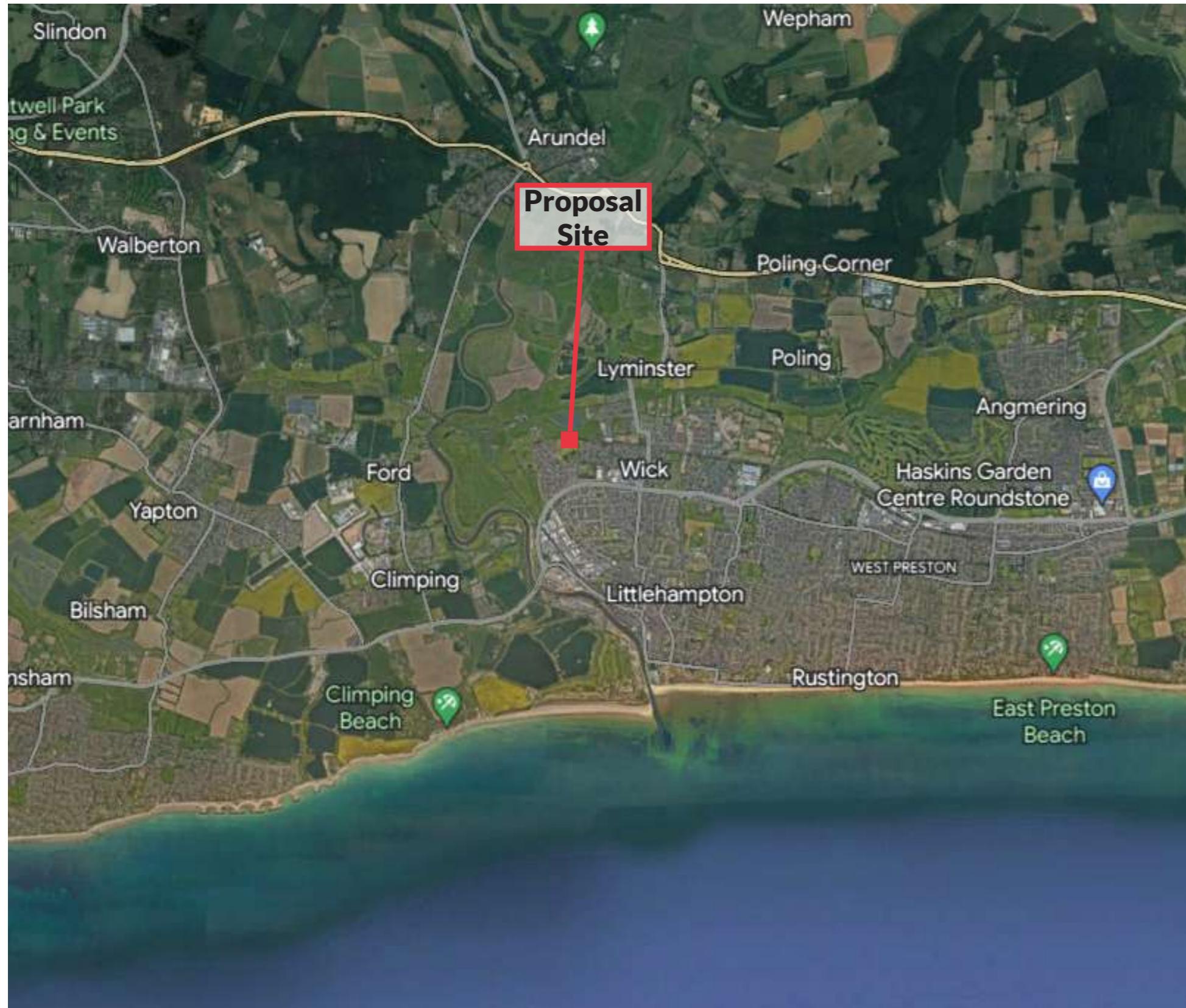


View of Strawberry Field Assisted Living



View South from Courtwick Park

## 2.3 AERIAL IMAGES OF THE SITE IN CONTEXT



Aerial image of the greater area (Source: Google Earth)

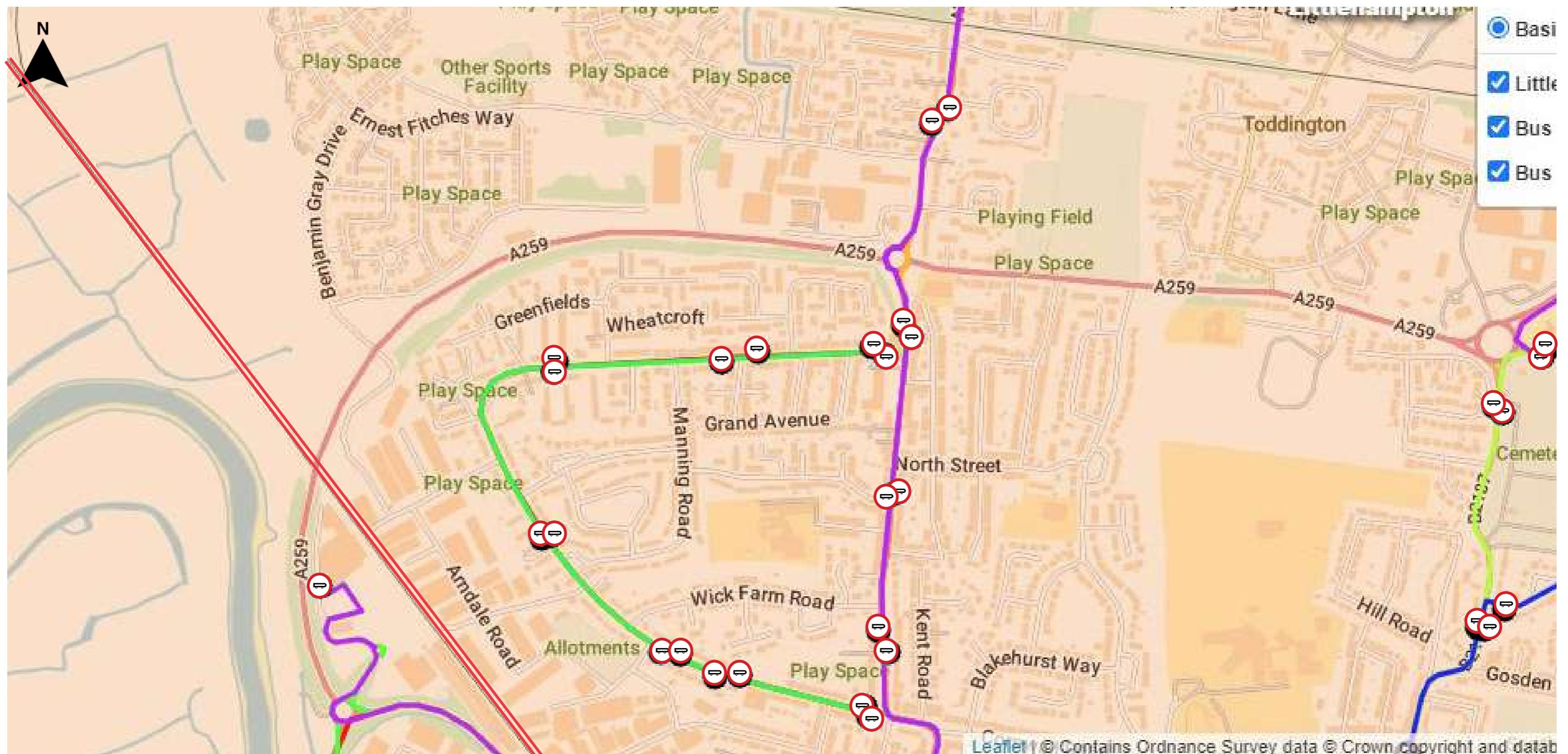


Area image of Egham (Source: Google Earth)



Area image of Egham (Source: Google Earth)

## 2.4 CONTEXT MAP



## 2.5 LOCAL CONTEXTUAL ASSESSMENT

Please see the next page for the Local Context Assessment Map.

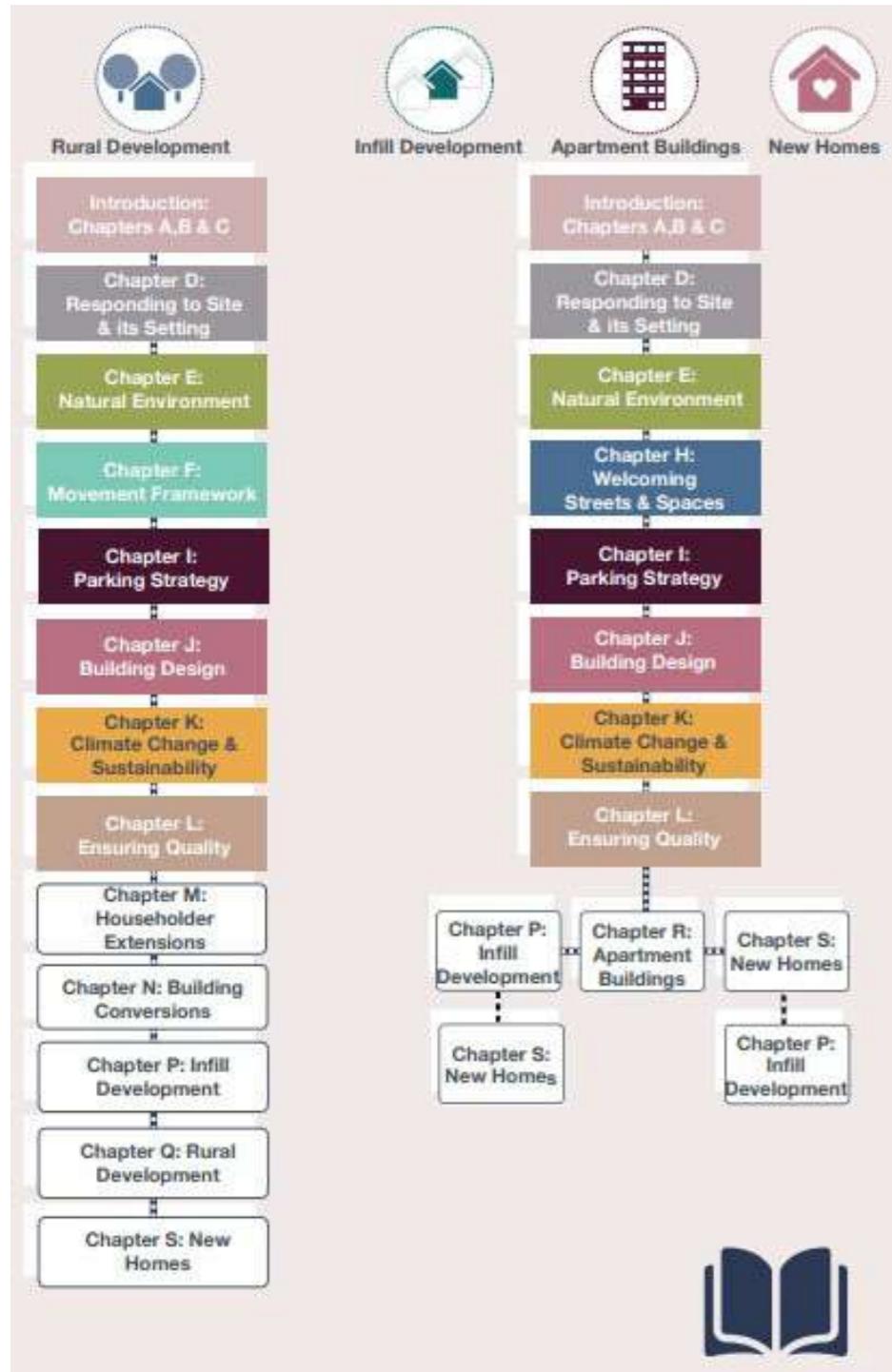


## 2.6 LOCAL CONTEXTUAL ASSESSMENT



Local Contextual Assessment Map - Please refer to the previous page for images of the 9 No. buildings in the surrounding area

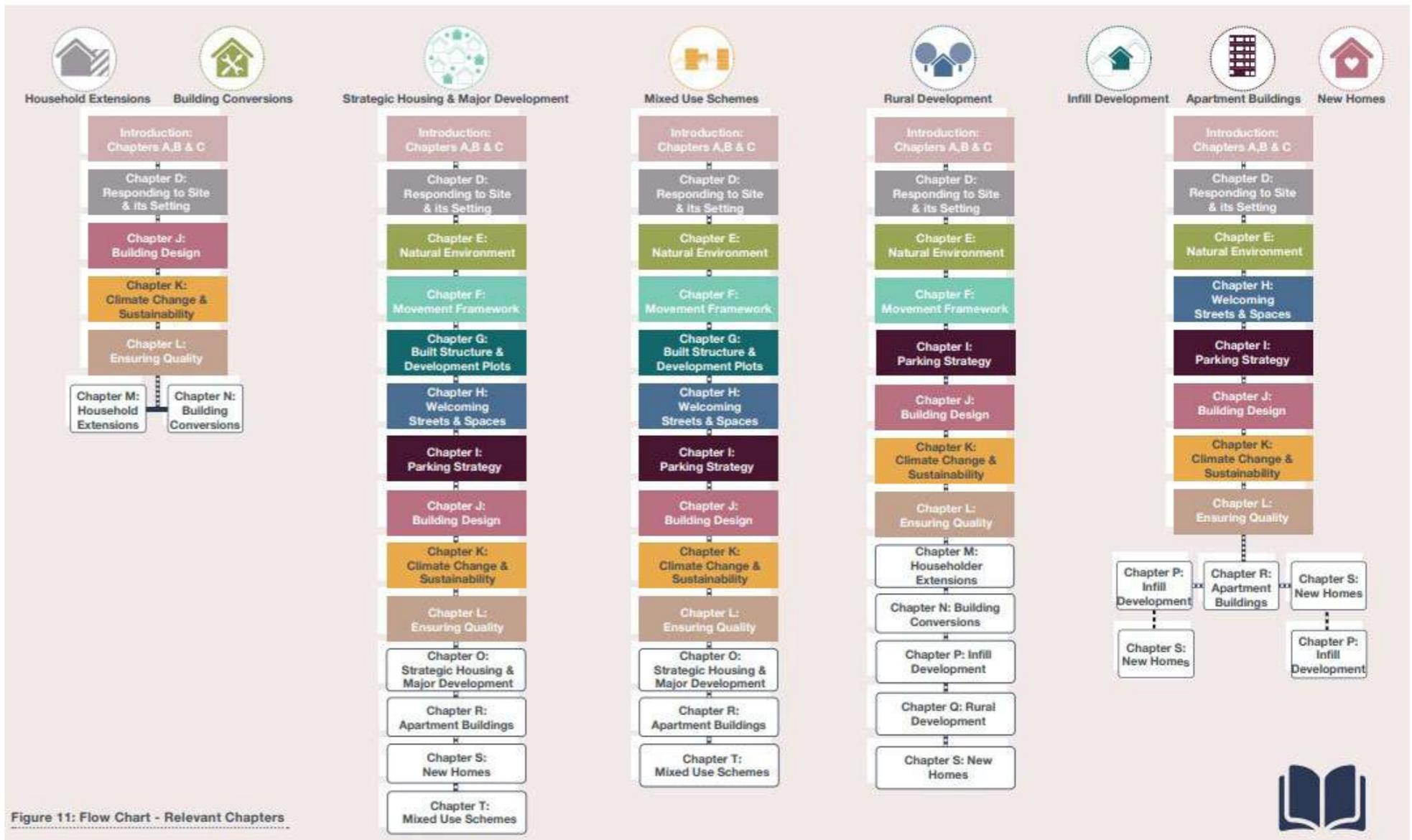
## 2.7 DESIGN GUIDELINES



Arun Design Guidelines

The Following Design Guidelines to be considered

The Scheme is based on both a Rural and Infill scheme due to the proximity of the built up area and it's immediate local environment



The development proposals for the site would need to address and overcome a number of policy matters arising from the site's location.

From a planning policy perspective, options and proposals would need to reflect the following objectives:

- Land use efficiency, providing an appropriate development at a density that enhances the character of the site and area;
- Make best use of layout and design utilising the existing levels, topography and access to the site;
- Provide a development that respects the character of the immediate area;

Consideration of the design will echo the Arun Local Plan 2011-2031 which sets out the vision for the future of Arun. This will protect those aspects of the District which are important by virtue of heritage, culture or otherwise valued by local people.

Good design is the key to ensure a high quality of development which protects the existing natural and built features that contribute to local distinctiveness.

The Design Guide has been used to ensure the character quality of the unique characteristics of the District is present with reference to its immediate locality of that of the historic important buildings and views

## 2.8 SITE APPROACH

The proposed site is approached via Courtwick Lane, where it intersects with Kingfisher Drive, eventually transforming into a private road. This initial stretch of Courtwick Lane provides access to several properties before continuing on for approximately 200 meters, ultimately leading to the existing drive of the coach house. This drive is set to play a crucial role in providing entry to the envisioned development site.

Upon reaching the coach house drive, the road extends further, traversing the area in the direction of Millard Grove. However, it is important to note that the road eventually comes to an end at a private gate. This strategic decision is in place to restrict any further vehicular access from the public highway beyond this point. The gate serves as a physical barrier, ensuring that only authorized individuals have access to the remaining road section, and it enhances privacy and security for the properties located beyond this boundary.

The utilization of the shared drive of the coach house as the access route to the proposed development brings certain advantages. It streamlines the access process, as the existing infrastructure can be adapted and utilized rather than creating a completely new access road. Additionally, this approach helps to minimize disruptions to the surrounding landscape and maintains a sense of continuity with the existing street layout.



Aerial map of site showing site approaches



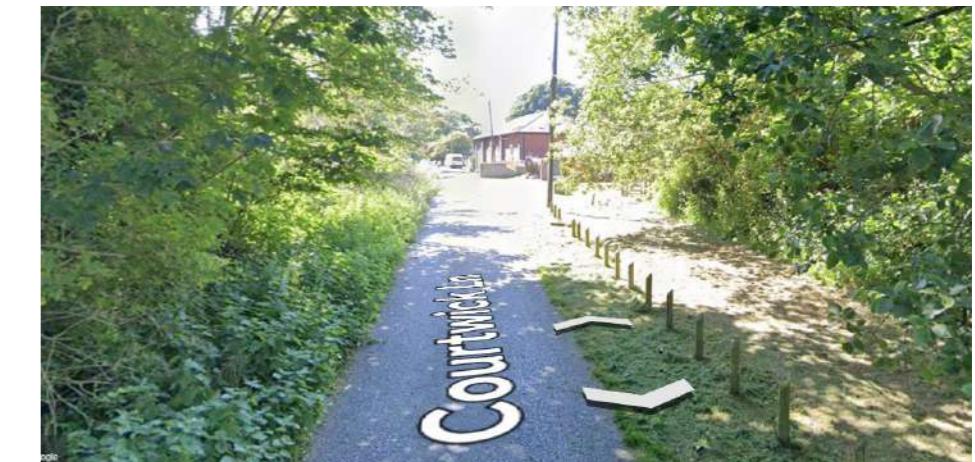
Approach on Thorpe Lea Road (view looking to the north east)



Approach on Thorpe Lea Road (view looking to the south west)



View of the access to the site



# 3.0 CONSIDERATIONS

### 3.1 PRE-APPLICATION PLANNING ADVICE - Our Ref: PAA/2/21

Pre Application Advice for 4 Unit Site - Access shared through Strawberry Fields / Courtwick

The letter provides feedback on a proposed development to construct four detached dwellings behind Courtwick Park. It highlights several planning issues, including principle, design, neighbor amenity, amenity space provision, bin storage, affordable housing, highways, transport, parking, sustainable construction, listed building impact, biodiversity, and protected trees. The development is within the Built-Up Area Boundary and complies with relevant policies from the Arun District Local Plan and Littlehampton Neighbourhood Plan. The design is considered appropriate, and the proposed dwellings have sufficient amenities and parking spaces. The proposal should include documentation related to flooding, heritage impact, biodiversity survey, drainage, and more. The letter concludes that an application for planning permission is likely to be approved, subject to necessary conditions. A follow-up meeting can be requested for further discussion, and the letter provides instructions on making the application, including the required documentation.

Concise list of actions required for the proposed development:

- Ensure compliance with relevant policies from the Arun District Local Plan and Littlehampton Neighbourhood Plan.
- Assess the design against policies D DM1 and D SP1, considering character, appearance, layout, density, and materials.
- Protect neighbor amenity by evaluating separation distances and fenestration.
- Provide 10.5m garden spaces for each dwelling as per the Arun Design Guide.
- Plan for sufficient bin storage and collection provisions.
- Ensure safe pedestrian and vehicle movement and meet parking requirements.
- Demonstrate sustainability features, including renewable energy and low carbon use.
- Address flood risk with a Flood Risk Assessment and drainage considerations.
- Submit a Heritage Impact Statement for the Grade 2 listed building (Courtwick Park) impact assessment.
- Conduct a tree survey to protect valuable trees on-site.
- Submit an ecological survey detailing biodiversity impact and mitigation measures.
- Follow the application process with all required documentation, including reference number and additional documents as per the Local Validation Requirements List.



## 3.2 PRE-APPLICATION PLANNING ADVICE - Our Ref: PAA/49/22

Pre Application Advice for 4 Unit Site - Private access from Courtwick Lane

Summary of planners' response:

The proposal includes 7 homes on a 0.48-hectare site behind Strawberry Fields, accessed via Courtwick Lane, Wick. The site has a Grade II listed building, Courtwick Park, adjacent to the west, and its stable block to the northeast. It is generally flat with trees along the boundaries. Relevant policies include Arun Local Plan 2011-2031, Neighbourhood Plan Policies, and Supplementary Guidance.

Engineers express concerns about trees and surface water drainage design. They advise ground investigations, winter groundwater monitoring, and infiltration testing. Adequate treatment of surface water is necessary, with encouragement for permeable paving.

The Tree Officer advises a tree survey and Arboricultural Implications Assessment to protect existing trees and root protection areas. Greenspace Department recommends a detailed landscape scheme for biodiversity net gain and habitat enhancement.

Environmental Health requires a preliminary contaminated land risk assessment and Construction Management Plan. A Heritage Impact Statement is necessary for the listed building's setting.

The development's principle is supported by relevant policies, and the design aligns with the location. Further consideration is needed for parking spaces, density justification, and layout details. Impact on the setting and railway noise must be addressed.

The site is affected by flooding, requiring a Drainage Impact Assessment. A 10% net gain in biodiversity and compliance with renewable or low-carbon energy requirements are expected.

Overall, addressing flood risk and biodiversity may lead to approval with suitable conditions.

- Conduct a tree survey and prepare an Arboricultural Implications Assessment (AIA) to protect existing trees and their root protection areas.
- Address concerns about established trees and surface water drainage design. Consider arboricultural constraints and the impact of surface water drainage on trees.
- Undertake ground investigations, winter groundwater monitoring, and infiltration testing to inform the surface water drainage design.
- Provide calculations to show that flood volume can be contained within the system and drainage for impermeable areas introduced on the site.
- Ensure infiltration testing is completed before making a full or outline application if infiltration is considered viable.
- Design surface water drainage features to achieve necessary capacity, water quality, and ease of maintenance. Consider open features like swales, basins, and ponds for ecological advantages.
- Avoid ground raising unless absolutely necessary. If required, consider potential impacts on existing properties adjacent to the development site regarding elevated groundwater levels and surface water run-off implications.



- Provide adequate treatment of surface water before discharge. Encourage the use of permeable paving to assist in this respect.
- Submit a detailed landscape scheme for biodiversity net gain and habitat enhancement.
- Address the setting of the listed building (Courtwick Park) and potential impact on heritage aspects through a Heritage Impact Statement.
- Justify the proposed density in the application submission, and ensure density is lower at the site edges.
- Provide a sustainability statement with proposed energy efficiency/building fabric measures and adherence to water consumption standards.
- Consider landscape buffer planting to minimize the visibility of the site from the north and demonstrate that the proposal will not harm wider viewpoints.
- Conduct a phase 1 Wildlife Survey and species-specific surveys to demonstrate a net gain in biodiversity.
- Address flood risk issues and submit a Drainage Impact Assessment taking into account foul water disposal, flood storage capacity, and surface water drainage.
- Address potential implications related to landscape, trees, and the Gap location through suitable planning conditions.
- Prepare a preliminary contaminated land risk assessment and a Construction

Pre-Application Proposed Site Plan (including the wider site boundary)

### 3.3 PRE-APPLICATION - TPO IMPACT

During the pre-application process, the client team faced an unexpected challenge when they received notification that the existing trees on the site were to be assigned a Tree Preservation Order (TPO). This development created further constraints on the site, including limitations on providing suitable access and accommodating the originally proposed 7 homes. As a result, the client team sought support from their Ecologist and Arboriculturist to address the new constraints.

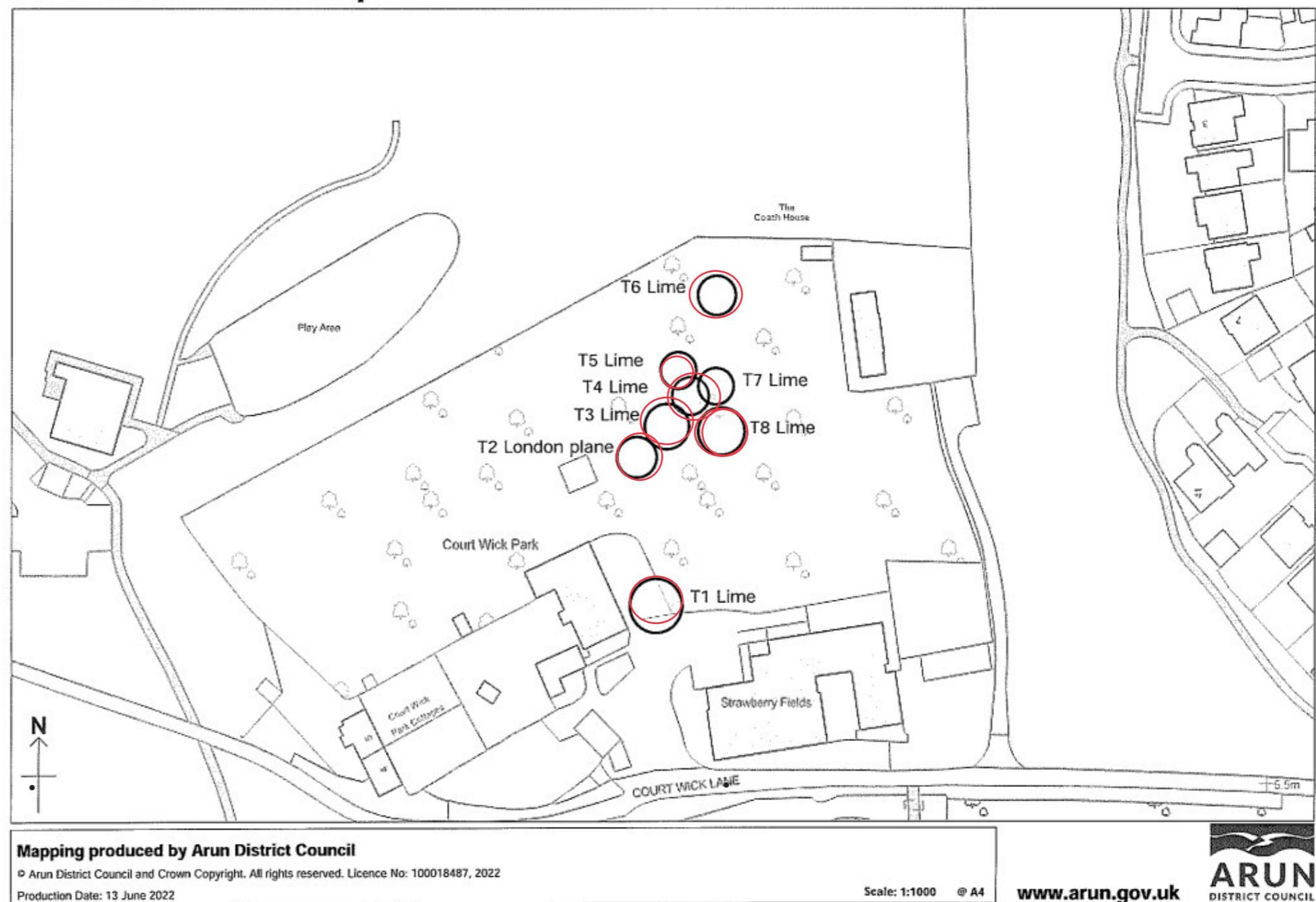
After careful assessment and consultation, it was determined that the site's restricted conditions would only allow for the development of 4 homes. The reduction in the number of homes was necessary to comply with the TPO and ensure the preservation of the existing trees, which were deemed to have significant value in terms of amenity and visual appeal.

While the change in the number of homes was not initially planned, the client team embraced the need for flexibility and adaptation in the development process. They worked closely with the Ecologist and Arboriculturist to revise the proposal, ensuring that the site's environmental and ecological aspects were respected.

Despite the reduced number of homes, the revised proposal still adheres to relevant policies and guidelines, including those related to biodiversity, landscape design, and sustainable development. The client team remains committed to creating a high-quality development that complements the local landscape and adheres to the principles of sustainable design.

The experience gained during the pre-application process has highlighted the importance of thorough assessments and early engagement with relevant experts to identify and address potential challenges. By remaining open to adjustments and embracing sustainable practices, the client team aims to deliver a development that not only meets planning requirements but also enhances the overall environmental and social fabric of the area.

#### Arun District Council Maps



Pre-Application Proposed Site Plan (including the wider site boundary)

The Site is behind Strawberry and slowly rises to the North East Corner with glimpse of the Old Stables.

The site has a number of C1 trees and other classification of trees that surround and within the site boundary which restrict some views from the site entrance. These open more up and provide glimpse of key features as you move through the site.

#### The Site

The shape of the site provides an advantage to the quantity and quality of daylight

The location of the site has added value with Historical connection and interest with key views and opportunities.

The exiting Historic listed Courtwick Park is of 2-3 Stories Georgian and stands with it's main historic elevation facing north.

Any proposed building should not exceed this height to ensure that it does not reduce it's historic and physical grandeur.

#### Materials

Courtwick Park - Mixture of Brick & Flint walls with slate roof

Brick - Grey Brick with Red dressed features

Header bond with quoins, dressings, string course and modillion eaves cornice

Strawberry Field - modern red brick with blue banding/details with artificial slate roof and painted white timber windows

#### Hard Landscaping

There is a limited pallet of material currently utilised with the entrance being tarmac and a small area of Parking being grey block paving.

#### Key:

 Site Boundary

 Site Entrance

#### Opportunities:

- Quite location
- Levels on the site are generally level with a slight incline to the North East
- Ability to provide a development with character
- Site access existing
- Keys Views and connection to historic connection
- Architectural influences from the locality and surrounding context.
- Low Density Housing
- Ability to provide an Arcadia Type Low density Layout with the Landscape dominating.

#### Constraints:

- A Small Number of Trees to be removed / Several Number TPO restricted
- Amenity space within the site would be limited, if a large scale development was proposed.
- Scale and mass of existing buildings, in particular those in close proximity along the boundary



# 4.0

# DESIGN PROPOSAL

## 4.1 PROPOSED DESIGN DEVELOPMENT

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 Site Boundary

 Site Entrance



## 4.2 FORM, SCALE AND MASSING

### Density

The decision to provide low density accommodation is reflective of the fact the site is predominantly landscaping therefore the Layout and proposed density does not exceed 8 houses per hectare (3 houses per acre) and therefore could be considered.

Houses sufficiently widely spaced to allow existing and new landscape to dominate.

Additional supportive landscape dominance with Meandering road alignment & hedge and hedge-bank boundaries

### Key Principles :

1. Varied alignment of houses
2. Road type E, minor access way
3. Cars turn within plots and egress in forward gear
4. Tree and hedge rear boundaries give high standard of privacy
5. Space for trees between houses
6. Trees and hedges on front boundaries with houses set back behind
7. Parking and garaging inconspicuously sited within plots

### Scale

Maximum Height is proposed to be lower than the Courtwick Park to maintain the hierarchy of the existing Courtwick maintaining it's grandeur over the proposed new builds

### Aesthetics

The principle aesthetics echo's the Georgian architecture of the original Courtwick Park with reflecting some of the features and maintaining the elevation rhythm of the Georgian period

### Roof Scape

The proposed plots have a varied roof scape of form with gable and hipped with the proposed slate reflecting the surround roofs of the existing Courtwick Park

### Design Features

Windows - Brick red header with surround red brick jamb detailing

Quoins & Corners - articulated in redbrick with some gables being full red brick to echo the existing building

### Parapets

Stone Parapets to articulate the junction between the roofs and walls of the elevation are to be provided to all gable ended plots.

### Windows

Georgian Proportion sash windows to reflect is the existing Courtwick Park

The Form and Scale is to reflect the existing neighbouring building and maintain a sense of symmetry and rhythm to echo the Georgian Architecture that existing on site.

The Scale of the Roof / Angle will also relate to the existing to maintain the architectural language that exists and provides a further connection between the Large House and the Existing Stable Block. This is reinforced with maintaining a vision corridor that provided glimpse in the summer and full connection during autumn & winter once the trees have sheds their leaves. This strengthens the sense of place and connection the development by bridging the link with the 2 listed buildings.



Stone gable parapets



Hipped Slate Roof

## 4.3 PROPOSED SITE DESIGN AND APPROACH

The proposed site design and approach entail an entrance located along the private road, which will be shared with the coach house. To accommodate larger vehicles, the entrance will be widened, providing additional maneuvering space. As one enters the site from the east, they will encounter plot 1, 2 and 3, all of which will boast front garden spaces with the capacity for three parking spots. On the opposite side, there will be an enhanced boundary treatment designed by Lizard Landscape. This treatment serves a dual purpose: fostering biodiversity and ecological value while preserving the existing old flint wall.

Initially, the plan was to break through the flint wall, but with the decision to share the drive to the east, the wall will remain intact and become an integral part of the landscaping, adding a touch of historical charm to the surroundings. The absence of foul on the site allows for the implementation of a drainage processing package, freeing up additional space.

The widened entrance not only facilitates the entry of larger vehicles, such as service trucks or emergency vehicles, but it also adds a sense of grandeur and accessibility to the development. By thoughtfully incorporating front garden spaces and parking provisions, the design promotes a visually appealing and functional layout for the properties.

The enhanced boundary treatment by Lizard Landscape aligns with modern ecological principles, aiming to boost biodiversity and create a sustainable environment. Simultaneously, it ensures that the historical significance of the existing flint wall is preserved, adding a unique character to the development.

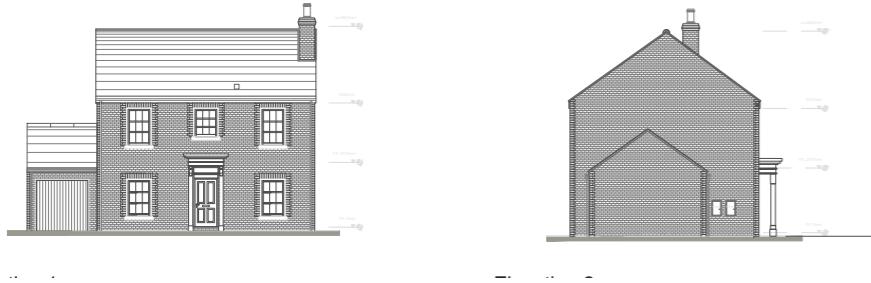
The decision to maintain the flint wall while sharing the drive emphasises the harmonious integration of old and new elements, striking a balance between contemporary needs and historical preservation. The clever utilisation of the drainage processing package optimises the available space, affording the opportunity to establish a delightful open area, possibly adorned with a charming meadow, fostering a sense of tranquility and natural beauty for the future residents.



## 4.4 PROPOSED PLANS

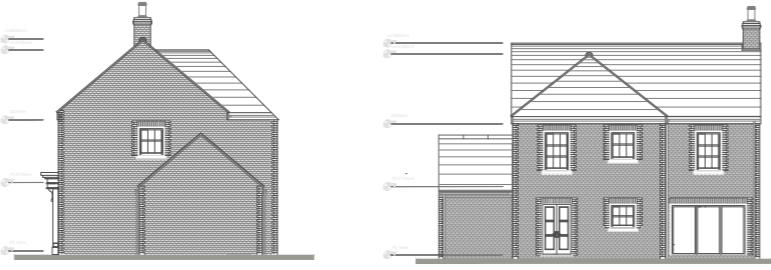
Key features of House Plot 01 & 02:

- 2 Storey building
- Total GIA per unit - 145m<sup>2</sup>
- 4 No. Bed / 1 No. Bathroom / 1 No. En Suite



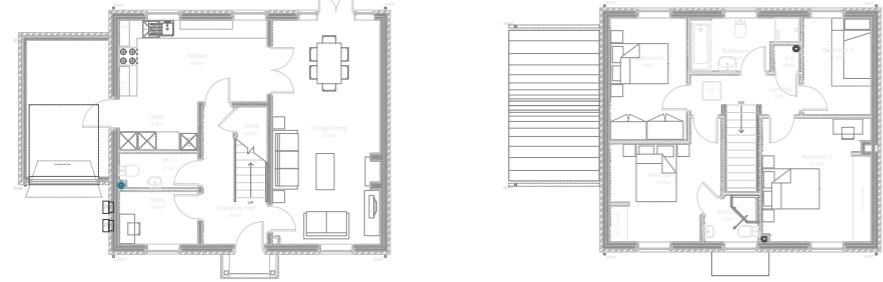
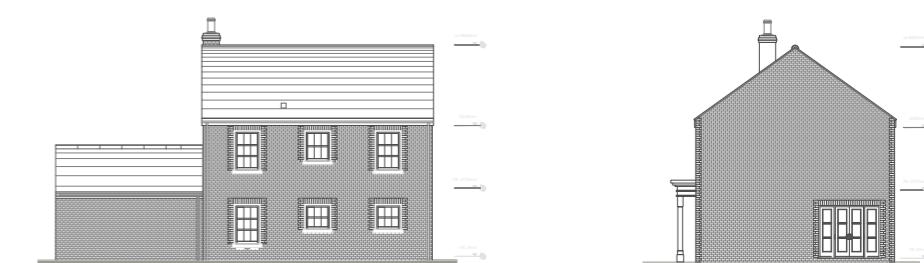
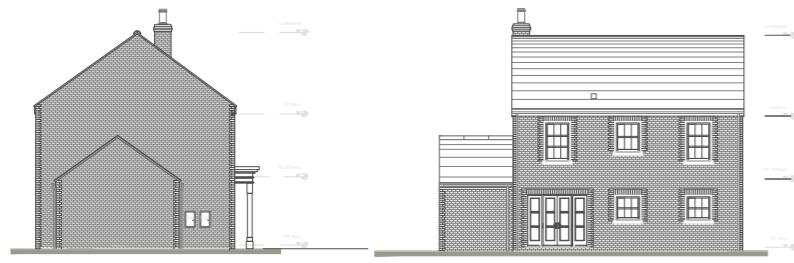
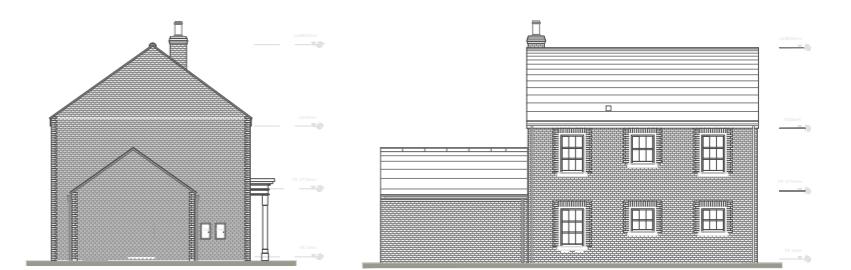
Key features of House Plot 03:

- 2 Storey building
- Total GIA per unit - 168m<sup>2</sup>
- 5 No. Bed / 1 No. Bathroom / 1 No. En Suite



Key features of House Plot 04:

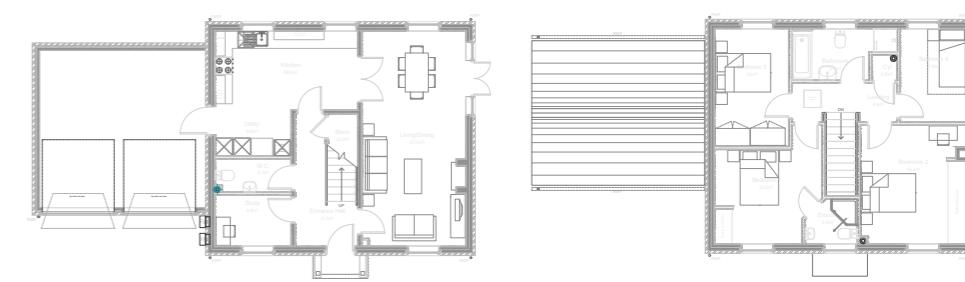
- 2 Storey building
- Total GIA per unit - 145m<sup>2</sup>
- 4 No. Bed / 1 No. Bathroom / 2 No. En Suite



Proposed Plot 1&2



Proposed Plot 3



Proposed Plot 4

## 4.5 PROPOSED MATERIALS

The proposed materials palette has been influenced by the surrounding local context influence to vary the elevations:

External Wall Finished:

- Grey facing brickwork
- Herritage Red facing brickwork

Roof Finish:

- Slate Roof - Colour: Blue

Windows and Doors:

- White Timber Double Glazed Sash Window
- Timber Double Glazed External Doors - Painted

Details:

- Red Brick Fenstration Articulation Details
- Stone Entrance Canopies



Proposed Material

1



Grey Brickwork

2



Herritage Red Brick

3



Flemish Bond Brickwork

4



Slate Roofing

5



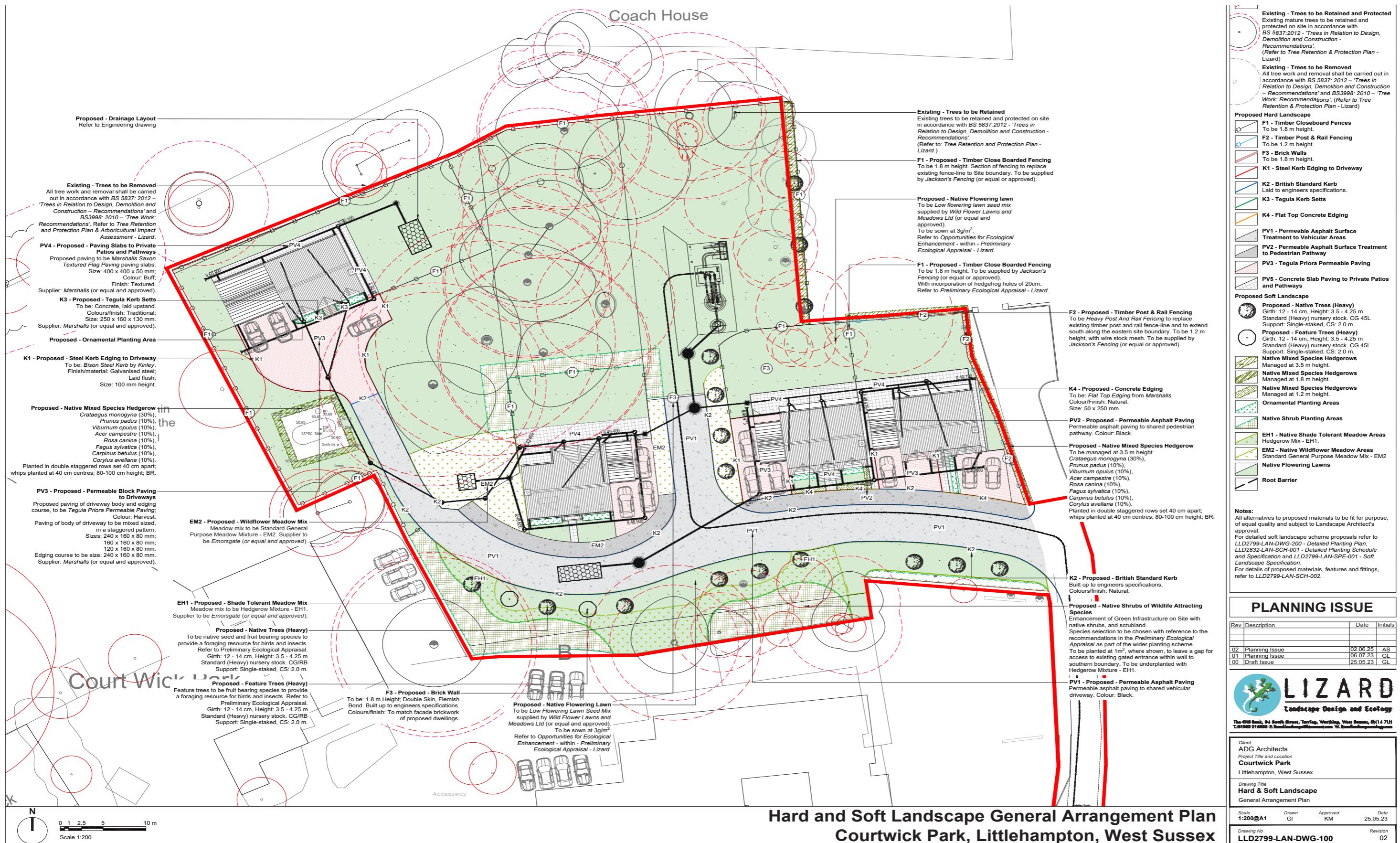
Stone Entrances

5

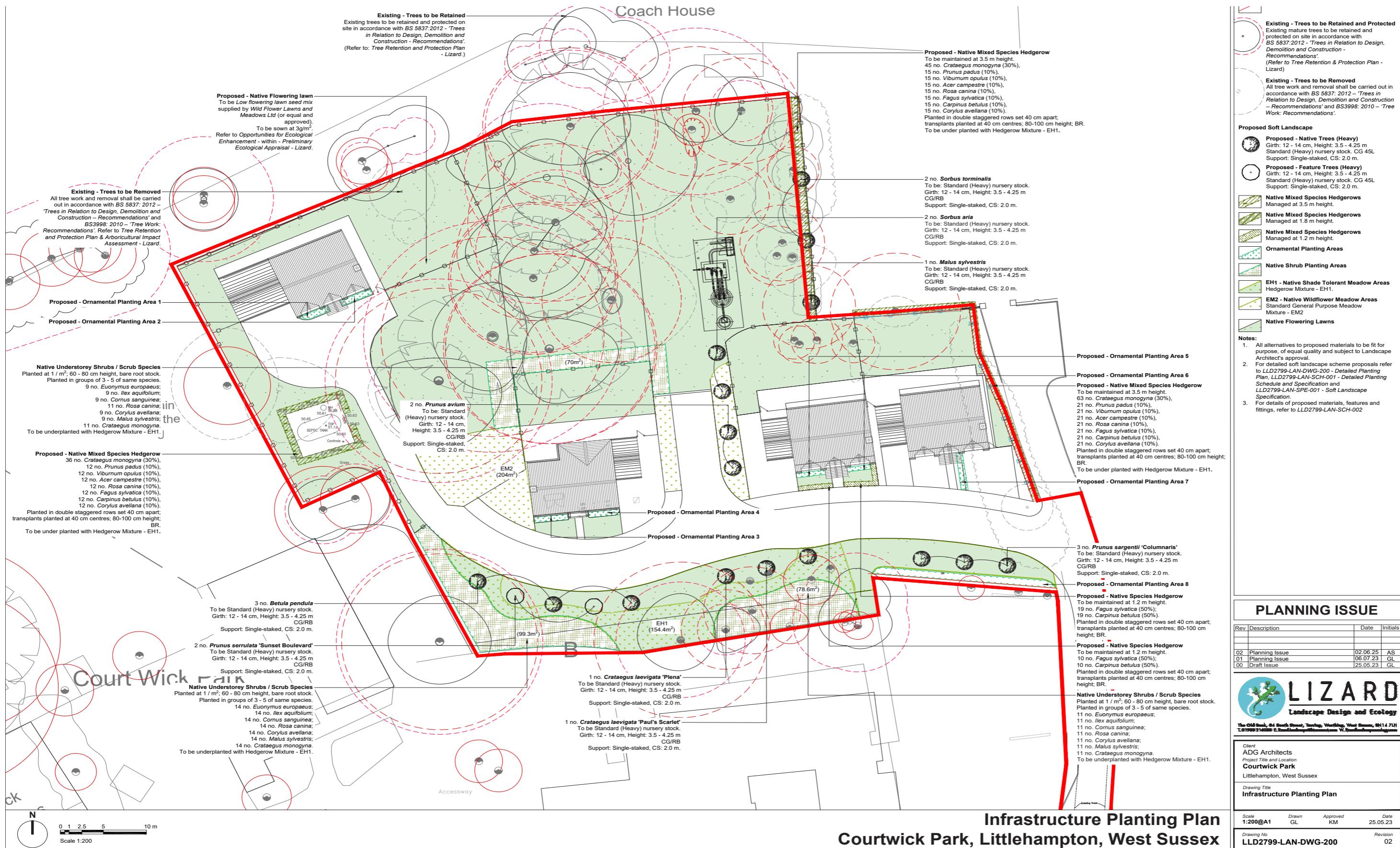


Timber Double Glazed Sash Windows

## 4.6 PROPOSED LANDSCAPING -GENERAL GA



## 4.7 PROPOSED LANDSCAPING - PLANTING



# 5.0

# SUMMARY

## 5.1 PROJECT SUMMARY

The existing site provides the opportunity for a new residential development that responds to the surrounding context and previous pre-planning application advice. After thorough analysis a proposal has been formed which will provide 4 No. high quality residential dwellings.

The pre-application planning advise has been considered and the requested information has been obtained from the relevant consultants. The ecologists, arboriculturalist and engineers have provided reports that support this development. Please refer to the information submitted with the planning application.

All dwellings have been provided with private external amenity space,

In addition, open space has been created within the the site. These green spaces provide an opportunity to improve the biodiversity within the site, carefully considering by the Landscape Architect

The proposed materials palette and architectural styling is sympathetic to the existing development/building whilst mainting a high level of quality

We believe that the proposed residential development will ensure that the current and future demand for high quality homes are met without disturbing the existing areas of development and landscape.





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