



REST HARROW

Design and Access Statement

June 2024

1059

ABL3 ARCHITECTS

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STATEMENT OF NEED

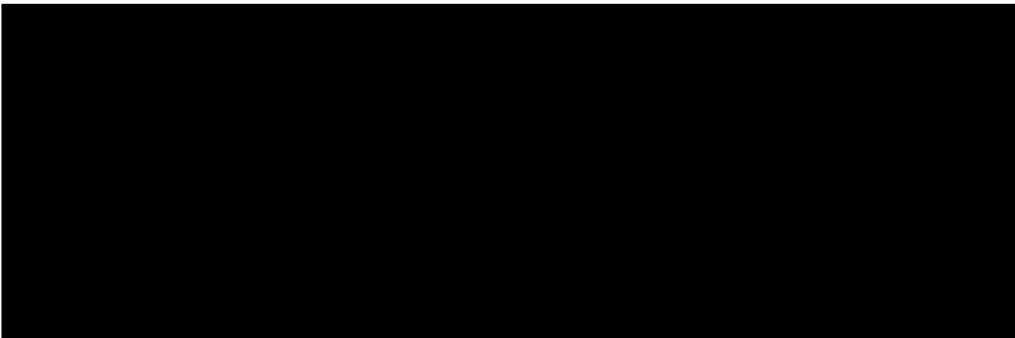
Application to improve living conditions for our daughters home, with a bespoke purpose built house to suit her needs:

Jo Cooper

Rest Harrow,
Middle Way,
Kingston Gorse,
Littlehampton,
West Sussex
BN16 1SB

25th September 2023

Personal Statement.



We initially rented Rest Harrow 6 years ago and purchased the property 18 months ago. Cody is very settled here and finds the quiet roads safe and accessible. The

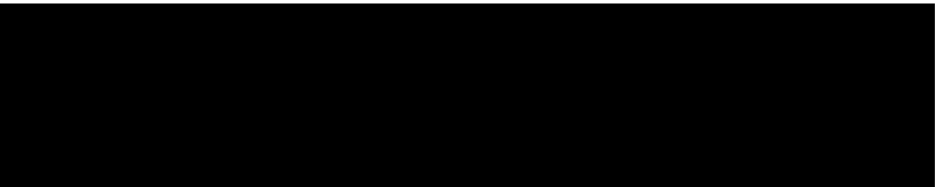
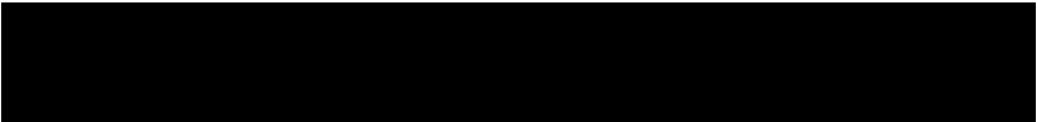


We always knew we would have to adapt the property [redacted]
[redacted] This includes wheelchair access around and inside the property.

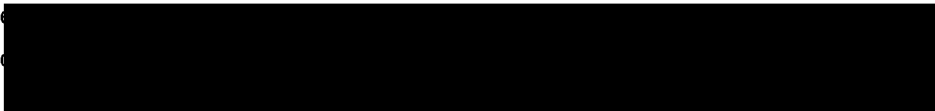
We have reviewed adapting the current property and were hoping to renovate the existing however, there is no scope to effectively do this with the property as it is; The house is in poor condition, having been rented, for approx 25+ years by an absent landlord. There are many issues around the structure, including damp, poor drains, heating and plumbing failure are regular occurrences, especially in the colder months. The chimney has been condemned and the roof is leaking. Most severely we have already had one electrical house fire and can see that the property needs re-wiring.

Environmentally the house is not thermally efficient, the windows are single glazed and crafty, the walls have little to no insulation neither does the floor or the roof.

Subsequently we need to rebuild to ensure that it can be a low mantaincenace



We appreciate the association taking the time to review our application and look forward to answering any questions which may arise, but most importantly we are



LOCAL VENACULAR

The architecture of Kingston Gorse is a diverse variety of houses and garden designs.

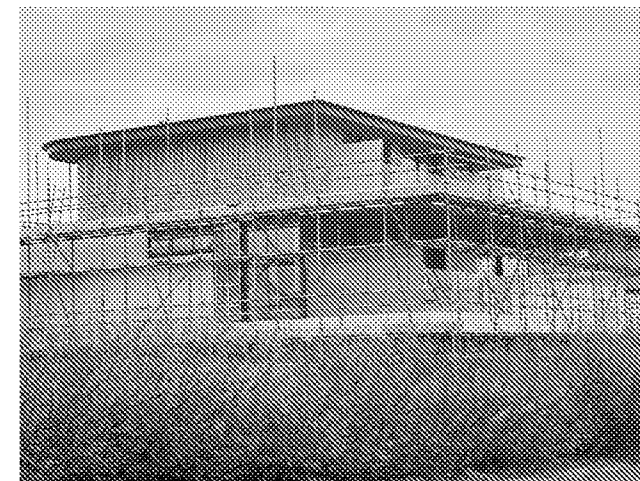
They vary between large modern houses with a variety of finishes including cladding, render and large expanses of glass.

Due to the exposed location, many of the houses are in a state of poor condition, in need of repair and refurbishment. Similar to our application, the result, is that some of the applications look to demolish rather than modernise, with contemporary architectural style.

The client is looking for a more contextual approach than these new 3 storey developments, maintaining the general height of the existing house and extending the building silhouette and footprint slightly to blend the new proposals with the existing houses and its neighbouring properties.



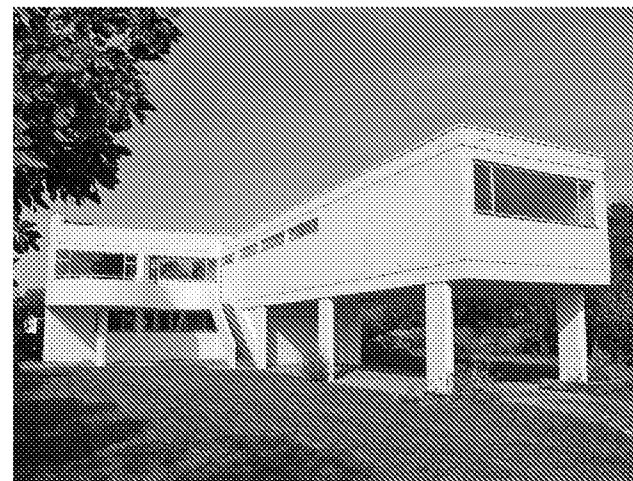
Painters Keep - an unusual but notable addition to the architecture of the Gorse Avenue, adding to the uniqueness and variety of the built form of Kingston Gorse. This is the Western neighbour to the application site.



Example of a flat roof contemporary scheme on the sea front of the estate.



Example of a timber and render cladding on a contemporary building



Sea Lane House, Marcel Breuer, 1936
Example of contemporary scheme on the sea front of the estate, Grade II Listed.



Example of a flat roof contemporary scheme on the sea front of the estate.



Example of a flat roof contemporary scheme on the sea front of the estate.



Example of a flat roof contemporary scheme on the sea front of the estate.

PRE-APP COMMENTS

PAA/94/23/

The following is a summary of the comments provided in the pre-app advice, and responses where applicable.

Character & Design

“It remains necessary to consider the character of dwelling within its immediate surroundings, rather than of the general character of the area. This section of Seaview Avenue/Middle Way is currently characterised by low density 1.5 storey dwellings with traditional architectural features, materials, and overall designs with the exception of the tall tower.”

Under the new proposal, the low density and low building height would be maintained. As explained in the Heritage Statement, Rest Harrow uses mock timber-frame and leaded windows to mimic a traditional style, the building itself is not 'vernacular'. Additionally, the traditional features of Rest Harrow have been impacted by the previous alteration in the form of a lightweight conservatory on the front elevation. This extension is incongruous with the existing and is visible from Seaview Avenue.

“The Tower/ Painters Keep’ to the north of the road, which also boasts a traditional character and acts as a focal point when taking in the character of the street when entering and moving up the road. Painters Keep is a Non-Designated Heritage Asset and is in part, significant owing to its positive contribution of traditional architectural design within the area.”

The positive contribution of traditional architectural design of The Tower is greatly diminished by heavy development, unrelated to the Tower in architectural style. These barn-like extensions and additional outbuildings detract from the merit of the tower, as shown in the Heritage Statement, section 4.17. Thus, using The Tower as a guideline for development style in the area is unreliable as the developments of Painters Keep themselves are not in keeping with The Tower.

“This section of Seaview Avenue is enhanced by the fact that Rest Harrow, Imray, and The Tower/Painters Keep

form a cluster of dwellings which share a traditional character and vernacular. This cohesive character is one that should aim to be preserved by development proposals.”

As noted in the Heritage Statement, sections 5.7.2 & 6.8, The cul-de-sac which gives access to Rest Harrow, Imray and The Tower/Painters Keep has little shared 'character'. The main commonality between these dwellings is a pitched roof, the style, materiality and colour of which varies. Aside from this few design features relate them in their existing states. Moreover, the greenery lining both sides of Seaview Avenue and site boundary walls are such that the properties are only visible together when directly outside said properties and even so are not in such positions that they are easily read as a collective. Thus, it is tenuous to label these dwellings as 'cohesive' in nature.

“The proposed architectural features such as the wholly flat roof, extensive amounts of glazing, vertical boarding, and geometric forms give the proposed dwelling a starkly modern character... They would appear incongruous within this cul-de-sac and result in harm to its character. The diverse material palette proposed also demonstrates a stark contemporary character.”

It is acknowledged by the council that Kingston Gorse demonstrates a wide variety of individually designed dwellings, including contemporary styles. Several examples of 'modern' buildings, including two of architectural and historical significance, are noted in the Heritage Statement, section 3. Several dwellings of contemporary styles are in very visible positions within the estate, contrary to Rest Harrow which can only be viewed from directly outside the property. Furthermore, overlooking from neighbouring properties is minimal due to large amounts of greenery along all borders of the site.

Neighbouring Residential Amenity

“Given the scale, sitting, and low height of the proposal, and how it compares to the existing built form, it would be unlikely to give rise to any significantly adverse impacts by way of overbearing, overshadowing, or overlooking of neighbouring properties.”

Quality of Accommodation

“The site boasts generous grounds and would have no shortage of internal or external amenity space. The proposal is likely to be in accordance with policies QE SP1 & D DM2 of the ALP.”

Energy Efficiency

“It is expected that the proposed dwelling would be a significant upgrade to the energy efficiency of what is present given its age and identified state of repair. Equally, it is noted that PV panels and air source heat pumps have been identified on the roof plan which is positive.”

Biodiversity & Natural Environment

‘At present, the proposal would be required to achieve a Biodiversity Net Gain on site as a result of the development. This could be achieved by additional planting, and/or other ecological enhancement features.’

Following the guidance of 'Biodiversity net gain: exempt developments', this development can be categorised under 'Self-build and custom build applications' as it is a single dwelling, on a site less than 0.5 hectares and consists exclusively of dwellings that are custom housebuilding as defined in section 1(A1) of the Self-build and Custom Housebuilding Act 2015. Nevertheless, the proposed development intends to contribute positively by retaining mature existing foliage and planting native flora and fauna.

Drainage

“As a replacement dwelling, the proposal would not likely be subject to any planning conditions relating to drainage schemes. Substantial front driveway and surrounding hardstanding should consist of permeable surfaces where possible.”

Heritage

To propose a dwelling of starkly different character within proximity to ‘Painters Keep’ also known as ‘The Tower’ would be harmful to its setting and draw attention away from its design. The proposal would prejudice the setting of Painters Keep and as such, would likely be concluded as being contrary to Policy HER SP1 of the ALP, KPNP 7 of the KNP, and the benefits of the proposal are unlikely to outweigh the harm identified.

The Heritage Statement gives in-depth explanation as to the effect of the proposed development on Painters Keep, which is thought to be no more detrimental than the development which has already taken place. Furthermore, reasons are given for a need to reconsider the balance between the effect on a non-designated heritage asset and the effect on the quality of life of a family aiming to create a safe environment for their daughter with ongoing medical requirements.

Transport and Parking

“The site is suspected to utilise its existing access and would be unlikely to result in any adverse impact on highway safety as a result.”

THE PROPOSAL

Rest Harrow, Gorse Avenue, Kingston Gorse, West Sussex, BN16 1SB

Proposal: Demolition and Rebuilding of a single storey dwelling and detached garage.

The following is a summary of the proposed scheme for Rest Harrow. It is designed in accordance with the specific requirements for our clients quality of life and indicates how this application seeks approval:

New Build Single Storey House

This scheme seeks to erect a new single storey multi-generational house for the parents and daughters to live harmoniously together with the intention that their

Most importantly is level access throughout, wide hallways, and large rooms suitable for wheelchair use.

Materials

The materials chosen are high quality contemporary aesthetic including the use of timber, sheet metal and render.

Layout

The position and orientation of the property remains unaffected within the site.

Access

The current access remains unaffected by the proposed scheme, however the parking requirements have lead to revised landscaping to ensure there is a suitable wheelchair accessible space for Cody along with enough car space for the family and carers.

Use

The existing use is residential and this will be retained under the proposals.

Scale

The existing house is 238sqm GEA

The proposed house is 304sqm GEA.

Each room has been carefully sized to ensure it complies with Part M and design for wheelchair users. The requirements are such that the rooms and hallways need to be larger than a typical home would usually be.

Sustainability

A number of sustainable design features are proposed to be incorporated into the dwelling, which has been designed with a fabric first approach. The orientation of the building and flat roof maximises the potential for solar gain, natural ventilation and daylight within the spaces. The proposal also incorporates a green roof to benefit the local biodiversity.

An air source heat pump will be utilised within the dwelling, and high insulation standards will be used for energy efficiency.

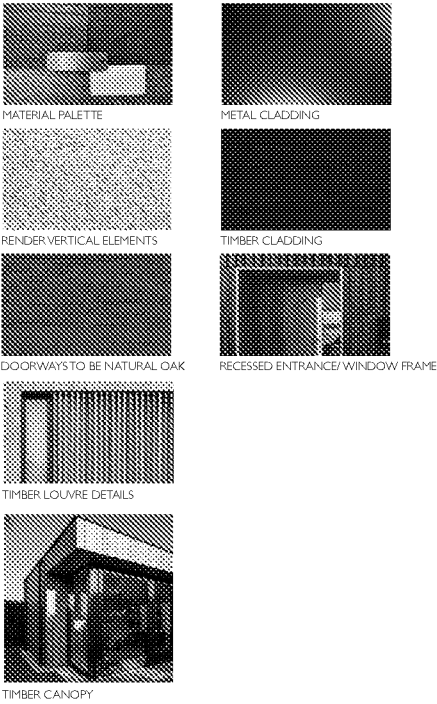
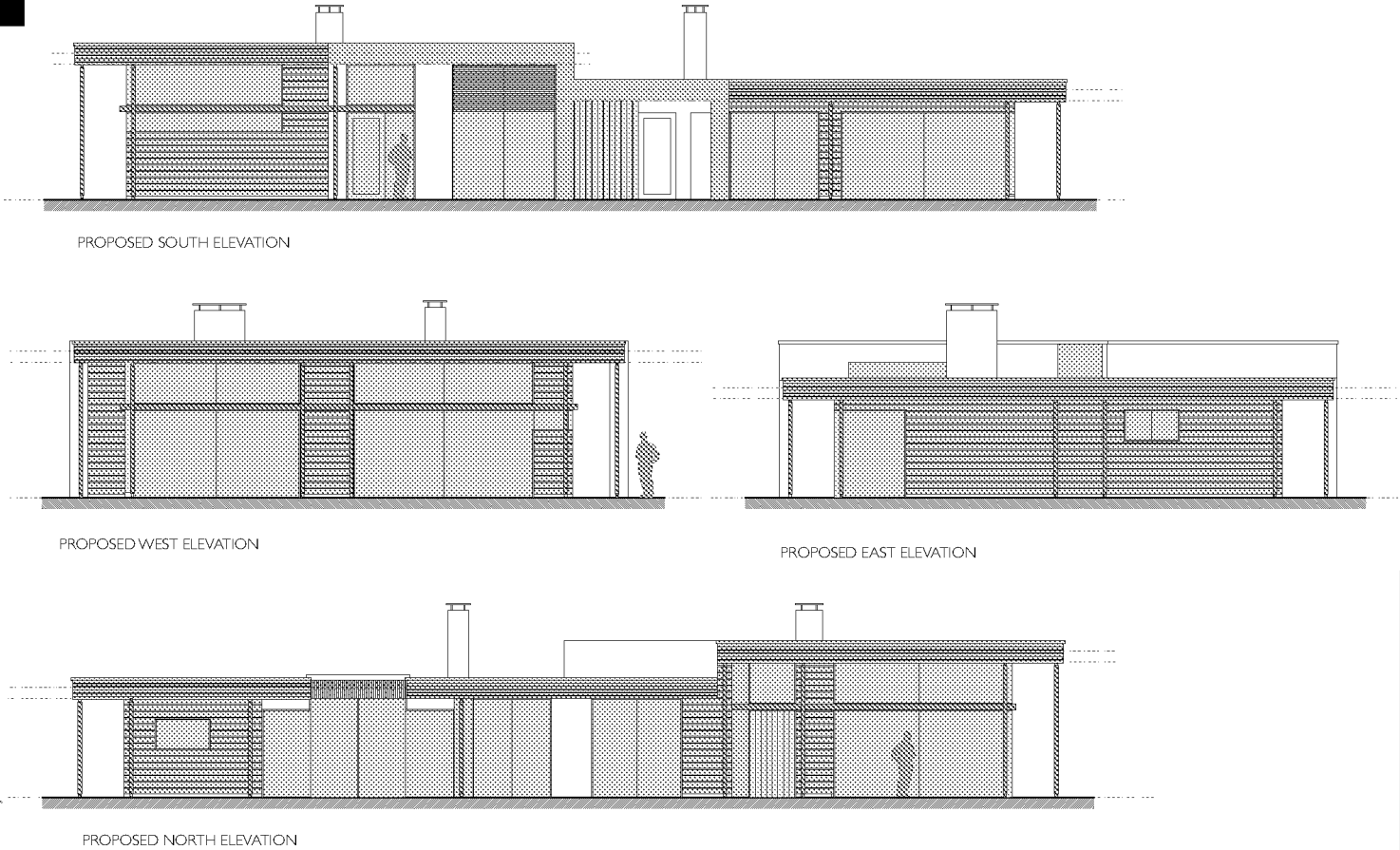
Locally sourced materials will be used wherever possible and locally grown timber as appropriate.

Conclusion:

The proposal has negligible impact upon privacy, daylight, sunlight, and outlook for neighbouring properties, or on the sense of openness between properties.

The design detailed within this application has been considered with reference to all of the surrounding properties to ensure that there is no detrimental impact to any existing resident adjacent to the site.

The residents association was consulted as a part of the design process, the feedback from which was positive without any opposition as the proposed scheme is in-keeping with size and massing of the properties in the local area and offers no detrimental impact.



3D VISUALISATION

