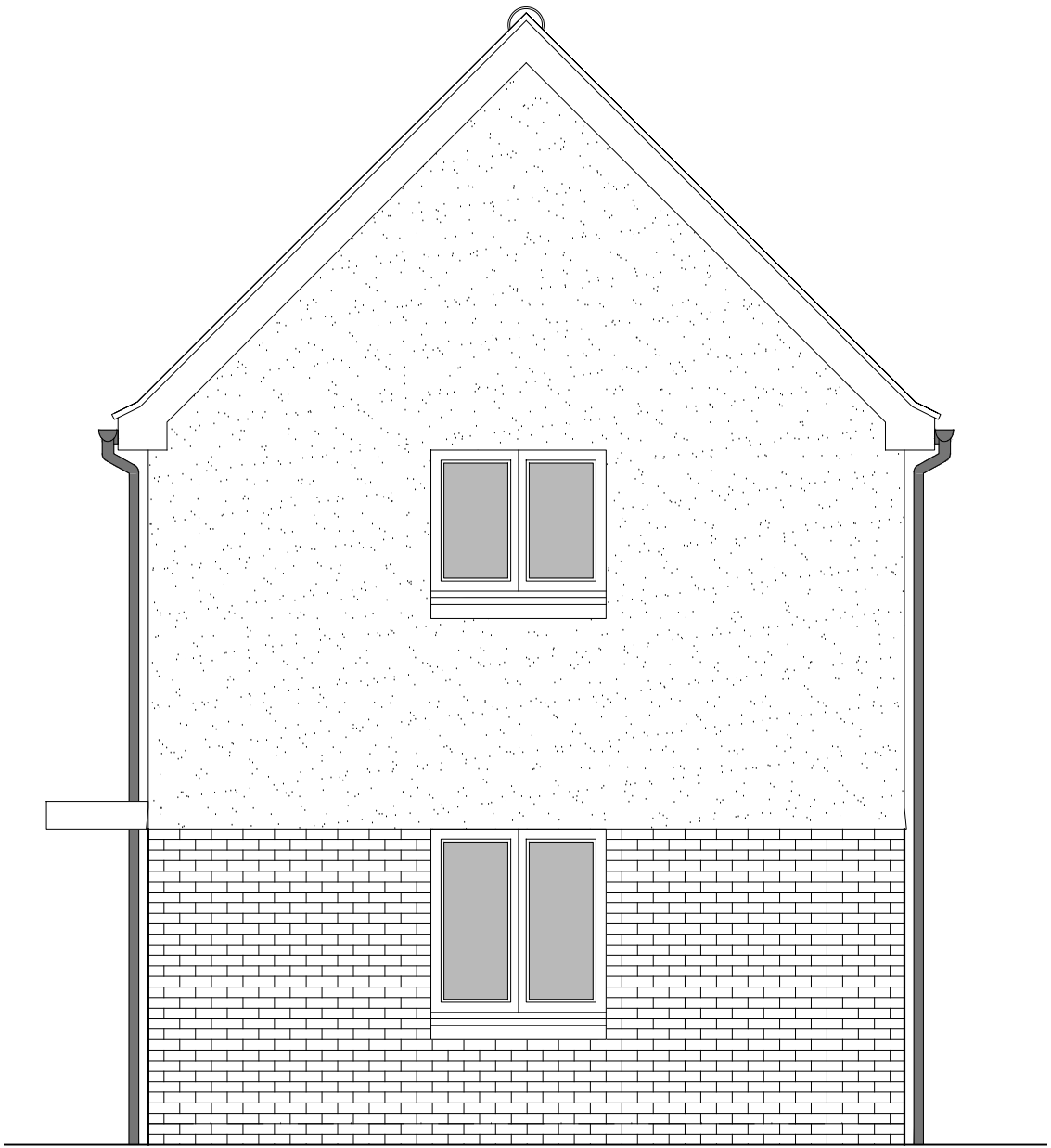


HOUSETYPE VARIATIONS		
PLOT NUMBERS:	AS DRAWN	- 176
	HANDLED	-
MATERIALS:	WALLS	- BRICK
	WALLS (TREATMENT)	- RENDER
	FENESTRATION	- UPVC
	OBSURE WINDOWS	- BATHROOMS
	EXTERNAL DOORS	- UPVC
	OBSURE DOORS	-
	ROOF	- TILE
WINDOW OMISSION*:	GUTTERING & DOWNPIPES	- UPVC
	FASCIA & SOFFITS	- UPVC
WINDOW OMISSION*:	PLOT(S)	- N/A
AREA OF UNIT (GIA):	76.8sqm	827sqft
B. REGS PART M:	M4(2)	
NDSS COMPLIANT:	YES	
CHARACTER AREA:	RUNWAY PARK	

PLEASE SEE ACCOMMODATION SCHEDULE
FOR PLOT SPECIFIC PART M CATEGORY



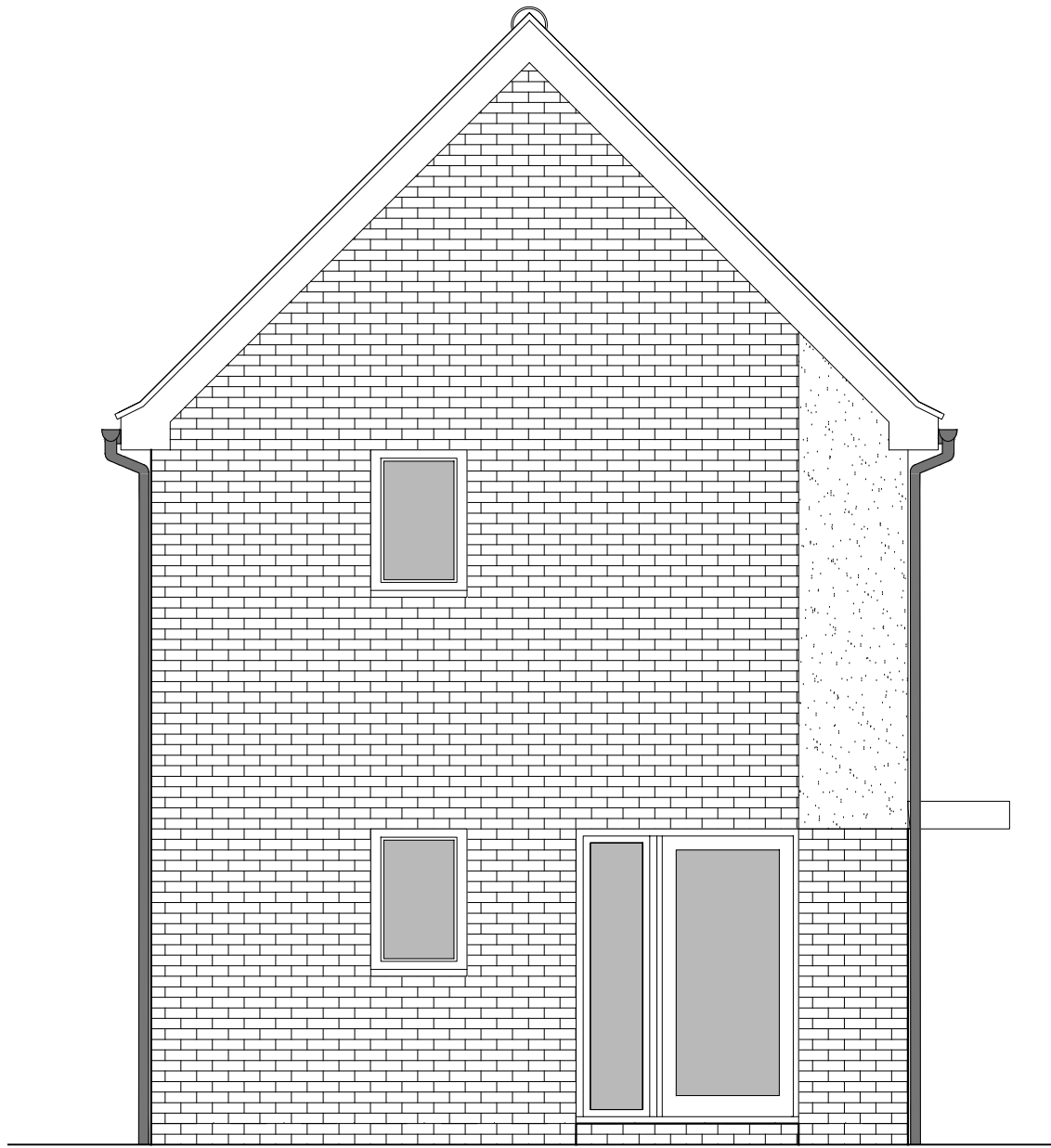
SIDE ELEVATION 1



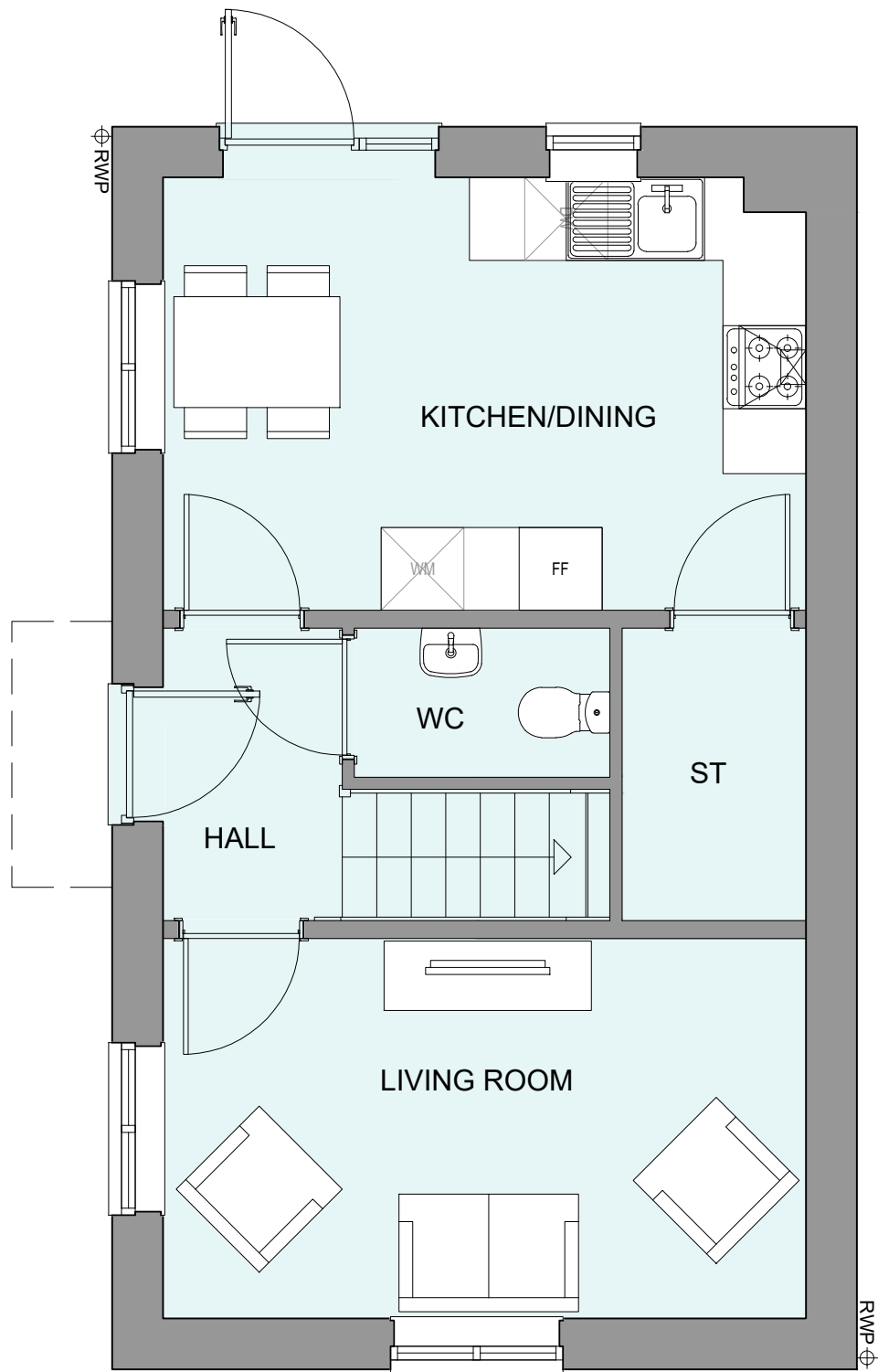
FRONT ELEVATION



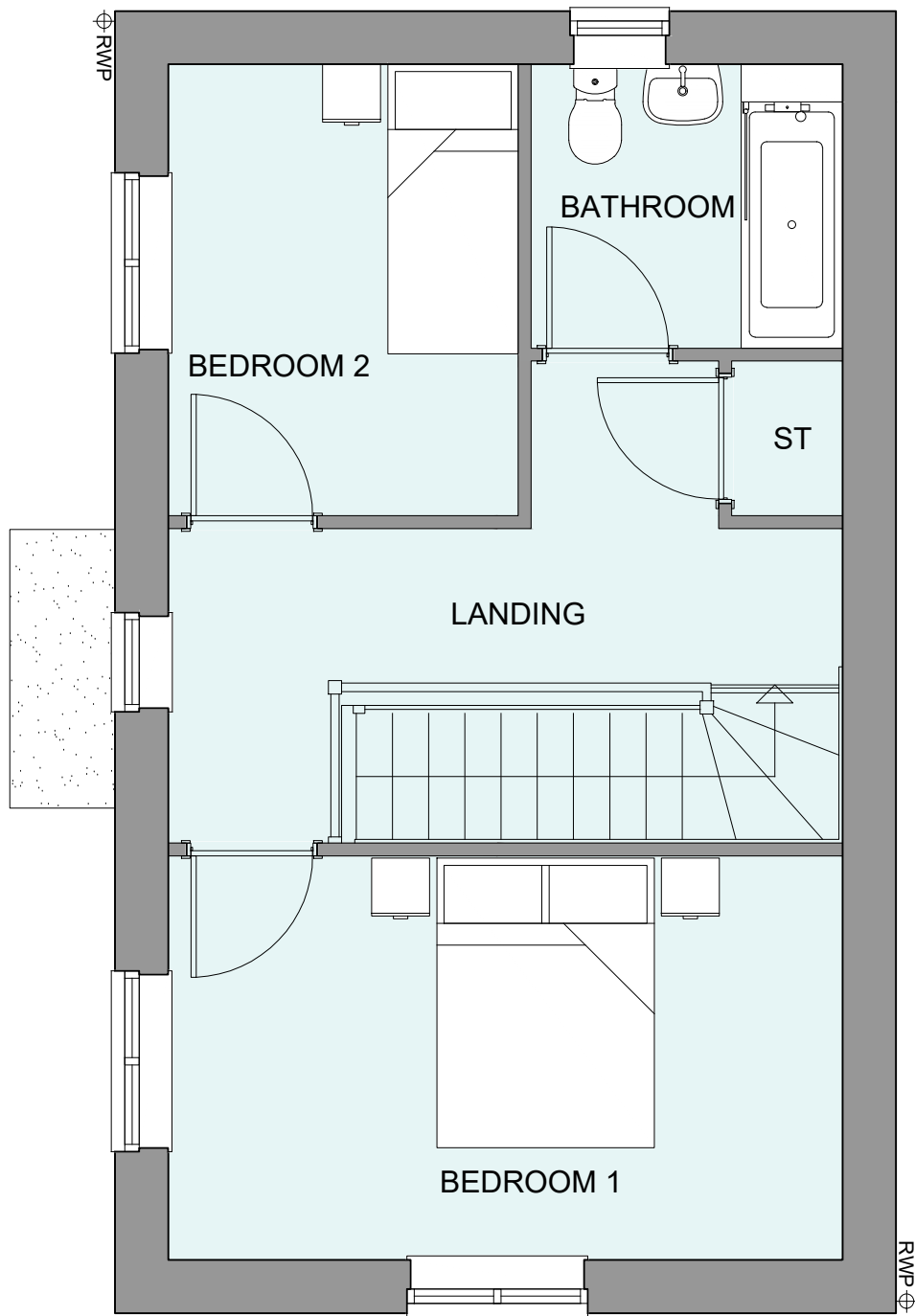
REAR ELEVATION



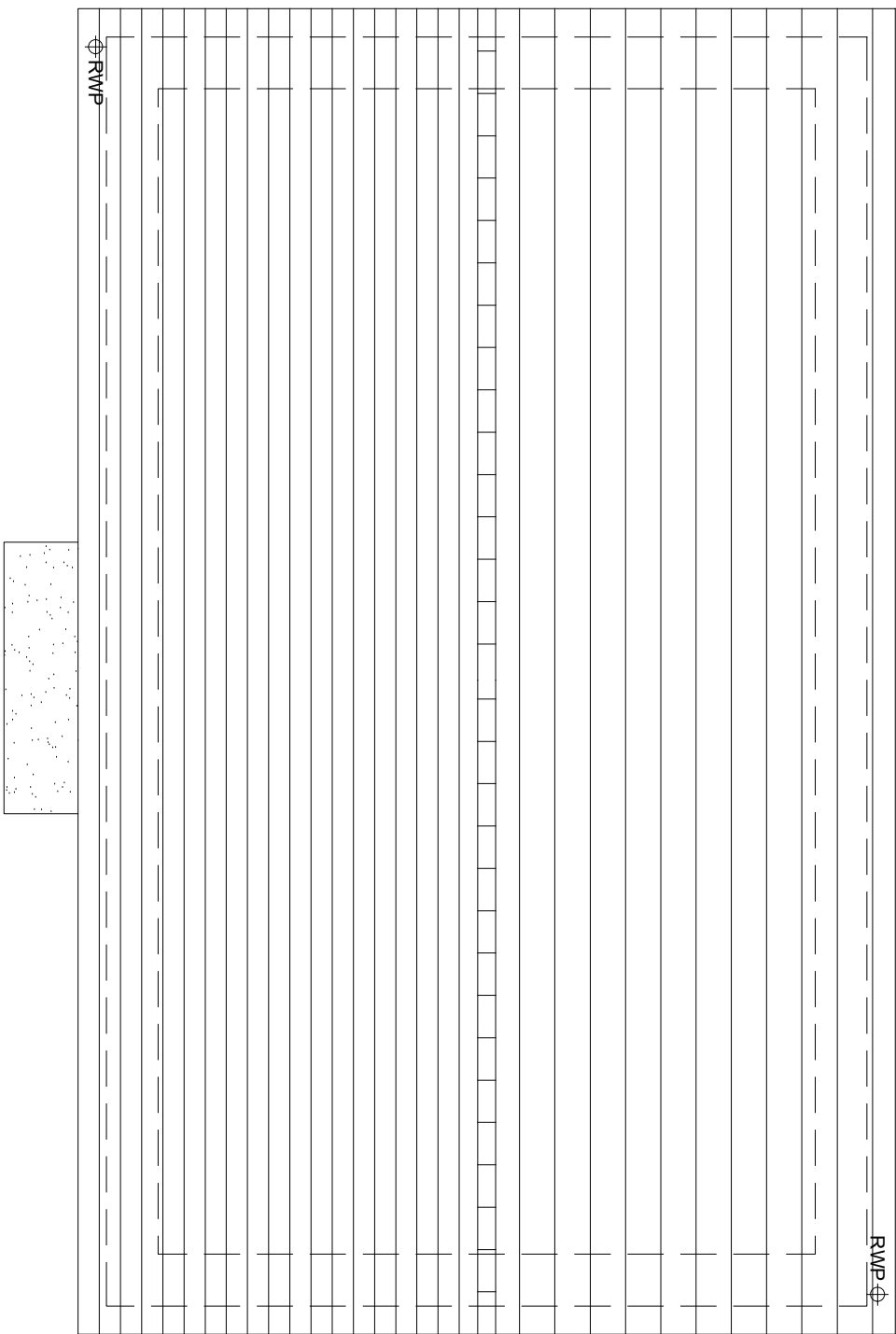
SIDE ELEVATION 2



GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN

C	02.12.24	Front door amended to address LPA's comments	JM
B	27.11.24	Revised as per planning comments 01.11.2024	CLP
A	21.08.24	Side Elev tile hanging reduced to avoid rear door, rwp positions & plot numbering adjusted	JC

Rev	Date	Amendment	Initials
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Project:
PHASE 4 THE LANDINGS
FORD, WEST SUSSEX
Client:
VISTRY SOUTH EAST
Drawing:
PROPOSED HOUSETYPE PLANS & ELEVATIONS
HT - "236" VARIANT "V4"

Drawing no: 22.1706.4353 Rev: C

Scale@A1: 1:50 Date: AUG 24 Drawn: JC Checked: CH

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All dimensions and measurements to be checked on site.
Do not scale from this drawing. This drawing is to be printed in colour.

PLANNING ISSUE