

Note: New vaulted ceiling above existing bedroom with 2No. electric rooflights. Please see structural calculations and notes for further details.

Existing windows in the bathroom and kitchen to be blocked up

Proposed flue

NOTE:

1. All windows (new and existing) to be replaced with black or grey powder coated aluminium windows.
2. All guttering and downpipes to be replaced with black PVC.

Proposed 4m rear extension to be finished with facing brickwork to match

Existing garage to be converted to provide new utility room

Note: Existing walls to be increased and new flat roof constructed.

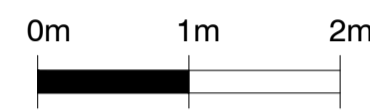
Proposed 2No. windows to replace existing single window

Proposed flue

Proposed contemporary front door with sidelights. All to be agreed with the client

Existing garage to be converted to provide new utility room. False doors to be fixed to front elevation.

PROPOSED WEST ELEVATION 1:50



PROPOSED NORTH ELEVATION 1:50

Proposed high level window with obscure glazing

Proposed flue

Note: New vaulted ceiling above existing bedroom with 2No. electric rooflights. Please see structural calculations and notes for further details.

Existing garage to be converted to provide new utility room

Proposed 4m rear extension to be finished with facing brickwork to match

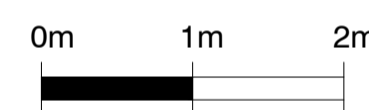
Proposed 3.0m x 1.5m rooflight above

Proposed 5.4m wide aluminium bi-fold doors

Proposed flue

Proposed 4m rear extension to be finished with facing brickwork to match

PROPOSED EAST ELEVATION 1:50



PROPOSED SOUTH ELEVATION 1:50

23 SINGLETON
CRESCENT, FERRING



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Address of Works: 23 SINGLETON CRESCENT
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BN12 5DE

Drawing Title: PROPOSED REAR EXTENSION

Paper Size/ Scale: A1

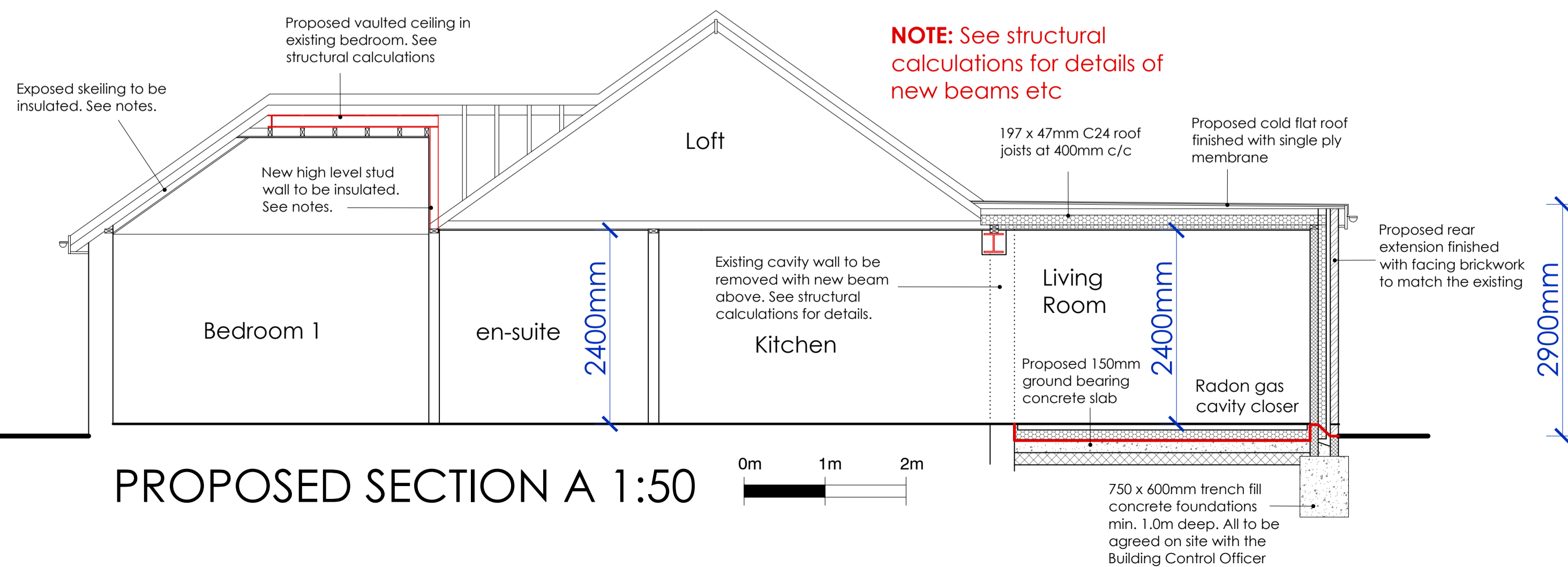
Date: APRIL 25

Drawing Number: AR-199-02

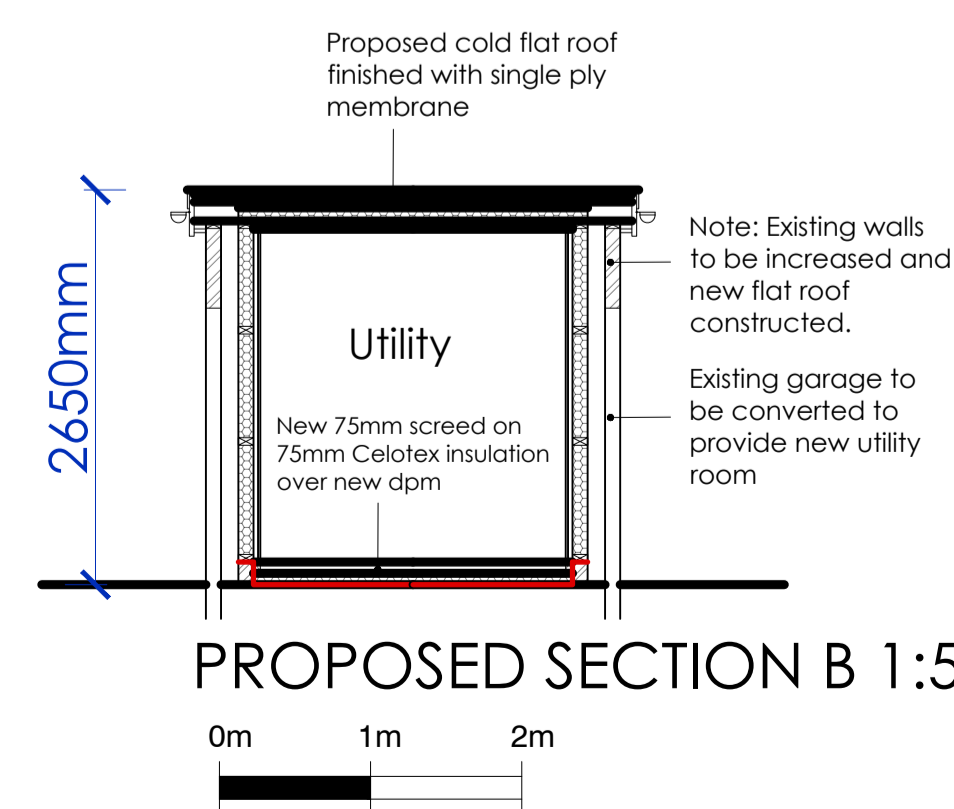
Revision: Revision

General Notes:

1. Do not scale from these drawings (unless for planning purposes).
2. Drawings to be read in conjunction with the structural calculations and the building notes provided.
3. The client/ contractor is advised to read the separate notes and the details provided in the structural calculations regarding the CDM regulations.
4. The property owner is reminded to serve a Party Wall Notice on any adjoining owner should they need to do so under the requirements of the Party Wall Act 1974.
5. No work should be undertaken until all consents (Planning and Building Control) have been received and approved in writing. Any work undertaken without consent is done so at the clients risk.
6. All dimensions to be checked on site prior to ordering any materials, kitchens or bathrooms.
7. All existing foundations and lintels taking any additional loads are to be exposed and agreed with the Building Control Officer.



PROPOSED SECTION A 1:50



PROPOSED SECTION B 1:50

